

HISTORIC AND DESIGN REVIEW COMMISSION

May 17, 2023

HDRC CASE NO: 2023-174
ADDRESS: 212 S FLORES ST
LEGAL DESCRIPTION: NCB 173 BLK LOT 19& 20
ZONING: D, H
CITY COUNCIL DIST.: 1
APPLICANT: Vincent Ramirez/Ford Powell Carson
OWNER: Kevin Covey/GRAYSTREET STUMBERG LLC
TYPE OF WORK: Rehabilitation, window replacement, storefront system replacement, door replacement, exterior modifications, canopy replacement
APPLICATION RECEIVED: April 27, 2023
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform rehabilitative scopes of work and exterior modifications to the historic structures located at 212 S Flores. Within this request the applicant has proposed the following:

One-Story Structure:

1. Remove the existing, non-original stucco façade to expose and repair the original brick façade.
2. Remove the existing, non-original stucco façade to expose and repair the original limestone façade.
3. Restore metal belt-courses and limestone coping stones.
4. Replace the existing canopy with a new canopy with no location change.
5. Replace the existing roofing system, gutters and downspouts.
6. West Façade: Remove the existing storefront system and glass block bulkhead and install a new, aluminum clad wood storefront system. This proposal will also include the installation of wood doors and the repair of original transom windows. The applicant has noted if the original transom is beyond repair, it will be replaced.
7. North Façade: Reintroduce a previously enclosed window opening and install a storefront system window.
8. East Façade: Refinish the existing security bars, replace six, double hung wood windows, and perform fenestration modifications to the existing storefront systems and window openings.
9. Install a rooftop screening element to screen mechanical equipment that will be added to rear roof area.

Two-Story Structure:

10. Clean and repair the original facades. This scope will include the in-kind replacement of damaged limestone window sills.
11. Repair the existing, wood transom windows.
12. Replace the existing canopy with a new canopy with no location change.
13. South Façade: Remove the infilled limestone within currently enclosed openings and install honed cut limestone recessed at approximately 1.5". *(This scope of work has been withdrawn.)*
14. West Façade: Remove the existing storefront system and install a new, aluminum clad wood storefront system. The applicant has also proposed replace to the existing windows and doors with new wood windows and doors.
15. East Façade: Replace the existing wood windows and doors with new wood windows and doors.
16. North Façade: Reintroduce a window to an enclosed opening and create a door opening on the roof to access rooftop mechanical equipment.
17. Construct a steel egress stair on the east façade.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right of-way.
- ii. Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. Screens and shutters*—Preserve historic window screens and shutters.
- v. Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

i. Existing canopies and awnings—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Replacement canopies and awnings—Replace canopies and awnings in-kind whenever possible.

ii. New canopies and awnings—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

iii. Lighting—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts. *iv. Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

v. Building features—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

vi. Support structure—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

Standard Specifications for Original Wood Window Replacement

- **SCOPE OF REPAIR:** When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- **MISSING OR PREVIOUSLY-REPLACED WINDOWS:** Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **MATERIAL:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.

- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The historic structures at the lot addressed as 212 S Flores consist of two separate structures, a one-story brick and limestone structure and a two-story limestone structure. Both structures appear in their current footprint on the 1904 Sanborn Map. The two-story structure was constructed circa 1870 and appears in its current footprint on the 1885 Sanborn Map. The one-story structure first appears on the 1888 Sanborn map in a footprint that has since been modified. Both structures are individual landmarks.
- b. **SITE VISIT** – Office of Historic Preservation staff performed a site visit on May 9, 2023, to view the condition of the existing windows, storefront systems, canopy, and façade elements.
- c. **REHABILITATION & EXTERIOR MAINTENANCE (One-Story Structure)** – The applicant has proposed to perform various rehabilitative scopes of work including the removal of existing, non-original stucco and the rehabilitation of both limestone and brick facades. The applicant will clean the original masonry facades with low-pressure means. Additionally, the applicant will restore metal belt courses and limestone coping stones. Staff finds the proposed scopes of work to be appropriate and consistent with the Guidelines.
- d. **CANOPY REPLACEMENT (One-Story Structure)** – The applicant has proposed to replace the existing, metal canopy with a new canopy with no location change. The canopy is shown on the 1951 Sanborn Map and is uniform with the canopy attached to the two-story structure, and is not original. Generally, staff finds the replacement of the non-original canopy to be appropriate. Detailed canopy documents should be submitted to OHP staff for review and approval.
- e. **ROOF REPLACEMENT (One-Story Structure)** – The applicant has proposed to replace the existing roofing system with a modified bitumen roofing system. There will be no change in roofing profile. Staff finds the proposed scope of work to the existing roof to be appropriate.
- f. **WEST FAÇADE (One-Story Structure)** – The applicant has proposed to remove the existing storefront system and install a new, aluminum clad storefront system. This proposal will also include the installation of wood doors and the repair of original transom windows. The existing storefront system features non-original elements, including class block bulkheads and aluminum frames. Staff finds the proposed replacement and reintroduction of the transom windows to be appropriate and consistent with the Guidelines. Detailed construction documents, including storefront and transom sections noting installation profiles and depths are to be submitted to OHP staff for review and approval.
- g. **NORTH FAÇADE (One-Story Structure)** – The applicant has proposed to reintroduce a previously enclosed window opening and install a storefront system window. While staff finds the reintroduction of this previously enclosed window to be appropriate, staff finds that a window with a profile matching the existing profile should be installed; a four over four window with true divided lites.
- h. **EAST FAÇADE (One-Story Structure)** – The applicant has proposed to refinish the existing security bars, replace six, double hung wood windows, and perform fenestration modifications to the existing storefront systems and window openings. The existing windows feature various states of disrepair, including missing sashes and rails, wood rot. Generally, staff finds their replacement with aluminum clad wood windows to be appropriate; however, the profiles and installation depths of existing windows are to be matched. Additionally, staff finds the return of the rear façade's fenestration pattern to the original to be appropriate. All window sashes that are removed that feature salvageable elements should be saved and salvaged.
- i. **ROOFTOP SCREENING (One-Story Structure)** – The applicant has proposed to install a perforated metal rooftop screening element to screen rooftop mechanical equipment. The screen will be applied on the east (rear) façade only. Generally, staff finds this installation to be appropriate; however, the applicant should reduce the overall height and width of the screen to the maximum extent possible.
- j. **REHABILITATION & EXTERIOR MAINTENANCE (Two-Story Structure)** – The applicant has proposed to perform various rehabilitative scopes of work including the cleaning and repair of the original façade. The applicant has noted the replacement of damaged limestone window sills, in-kind, as well as the repair of existing, wood transom windows. Staff finds the proposed scope of work to be appropriate and consistent with the Guidelines.
- k. **CANOPY REPLACEMENT (Two-Story Structure)** – The applicant has proposed to replace the existing, metal canopy with a new canopy with no location change. The canopy is shown on the 1951 Sanborn Map and is

uniform with the canopy attached to the one-story structure, and is not original. Generally, staff finds the replacement of the non-original canopy to be appropriate. Detailed canopy documents should be submitted to OHP staff for review and approval.

- l. SOUTH FAÇADE (Two-Story Structure) – The south façade currently features enclosed window openings. The applicant has not proposed to reintroduce windows to these openings, but has proposed to modify the limestone infill to feature a recess to better represent the original openings. Generally, staff finds this to be appropriate. Infill should be salvaged limestone found on site or comparable materials.
- m. WEST FAÇADE (Two-Story Structure) – The west façade of the two-story structure is asymmetrical and features non-original storefront systems. The façade at the street level has been modified a number of times since its original construction, including the expansion of existing window and door openings and the creation of new openings. The applicant has proposed to replace the existing storefront system with a new storefront system. Additionally, the applicant has proposed to replace the existing wood windows, wood doors and to repair the existing, transom windows. The existing wood doors are not original to the structure, and the wood windows are in a significant state of disrepair. Generally, staff finds the applicants proposal for the west façade to be appropriate. Detailed construction documents, including storefront and canopy sections noting installation profiles and depths are to be submitted to OHP staff for review and approval. All window sashes that are removed that feature salvageable elements should be saved and salvaged.
- n. EAST FAÇADE (Two-Story) – On the east (rear) façade, the applicant has proposed to replace the existing wood windows and doors with new wood windows and doors. The existing windows feature various states of disrepair, including missing sashes and rails, wood rot. In some openings, sashes are completely missing. Generally, staff finds their replacement with aluminum clad wood windows to be appropriate; however, the profiles and installation depths of existing windows are to be matched. All window sashes that are removed that feature salvageable elements should be saved and salvaged.
- o. NORTH FAÇADE (Two-Story Structure) – The applicant has proposed to reintroduce a window to an enclosed opening and create a door opening on the roof to access rooftop mechanical equipment. Staff finds the reintroduction of a window to be appropriate. Additionally, staff finds the proposed rooftop access door to be appropriate as it is located on a non-primary façade where it will not be readily visible from the right of way. Staff finds that a window with a profile matching the existing profile should be installed; a four over four window with true divided lites.
- p. EGRESS STAIR – The applicant has proposed to construct a steel egress stair on the east façade. The proposed stair will be detached from the historic façade and will be located at the rear of the structure. Staff finds the proposed stair's construction to be appropriate.
- q. ARCHAEOLOGY – The project area encompasses two Local Historic Landmarks. In addition, a review of historical archival documents identified the alignment of the San Pedro or Principal Acequia, a previously recorded archaeological site and designated National Historic Civil Engineering Landmark, within the property. Therefore, an archaeological investigation is required if excavations are necessary for the project. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

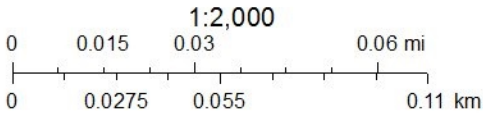
Staff recommends approval of items #1 through #16 based on findings a through p with the following stipulations:

- i. That all replacement windows feature four over four profiles and feature an installation depth that matches that of the existing windows. This is to include the proposed reintroduction on the north façade of the one-story building. Additionally, all windows should be consistent with the adopted policy guide for replacement windows and should feature true divided lites. Any sashes that are not deteriorated beyond repair should be salvaged.
- ii. That final construction documents for the proposed storefront systems, transom windows and canopy be submitted to OHP staff for review and approval.
- iii. That the proposed mechanical screening be reduced to the smallest size possible, as noted in finding i.
- iv. That all new mortar match the existing in color and that all introduced limestone match the exiting as closely as possible.
- v. ARCHAEOLOGY – An archaeological investigation is required if excavations are necessary for the project. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

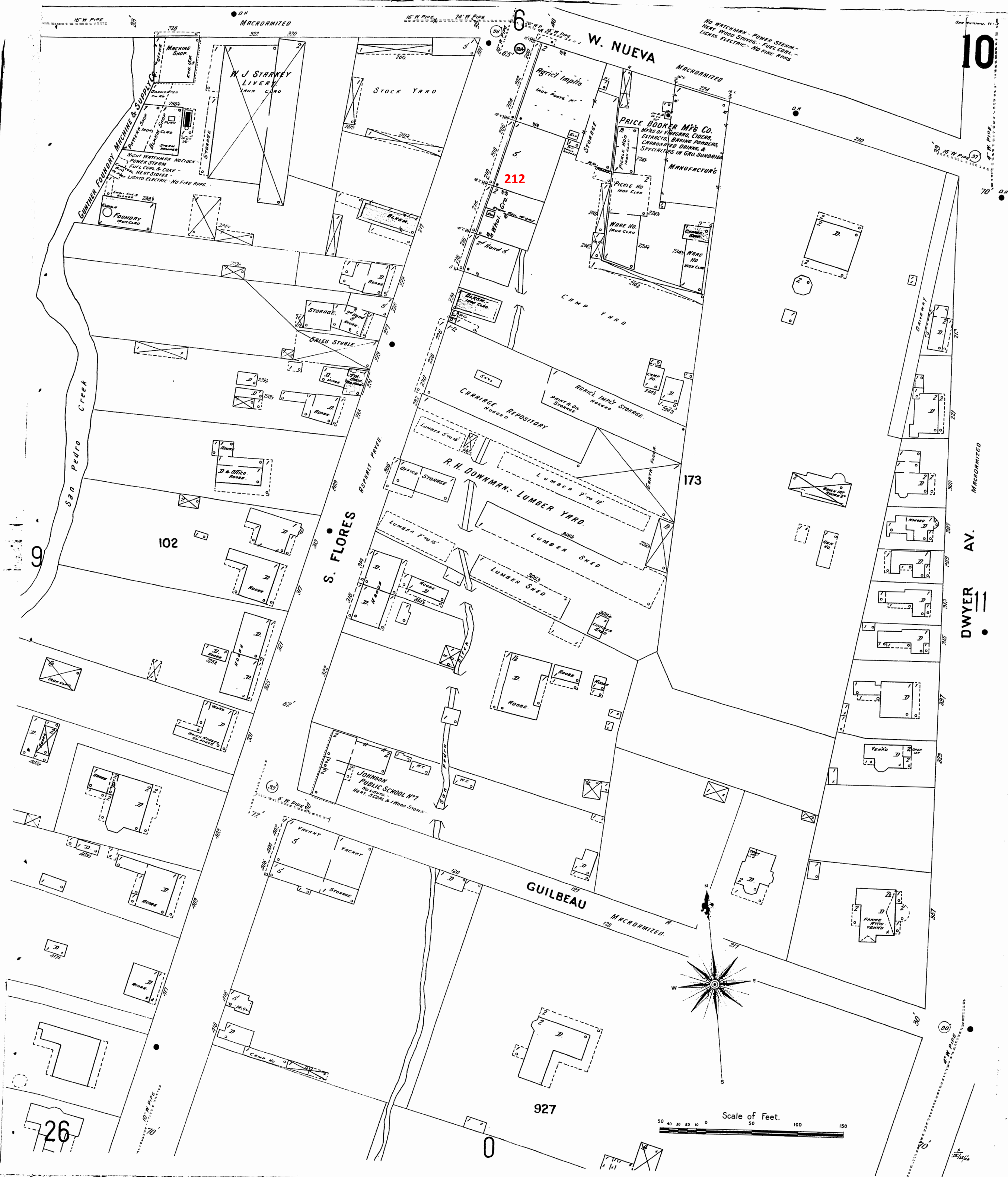
City of San Antonio One Stop



May 11, 2023

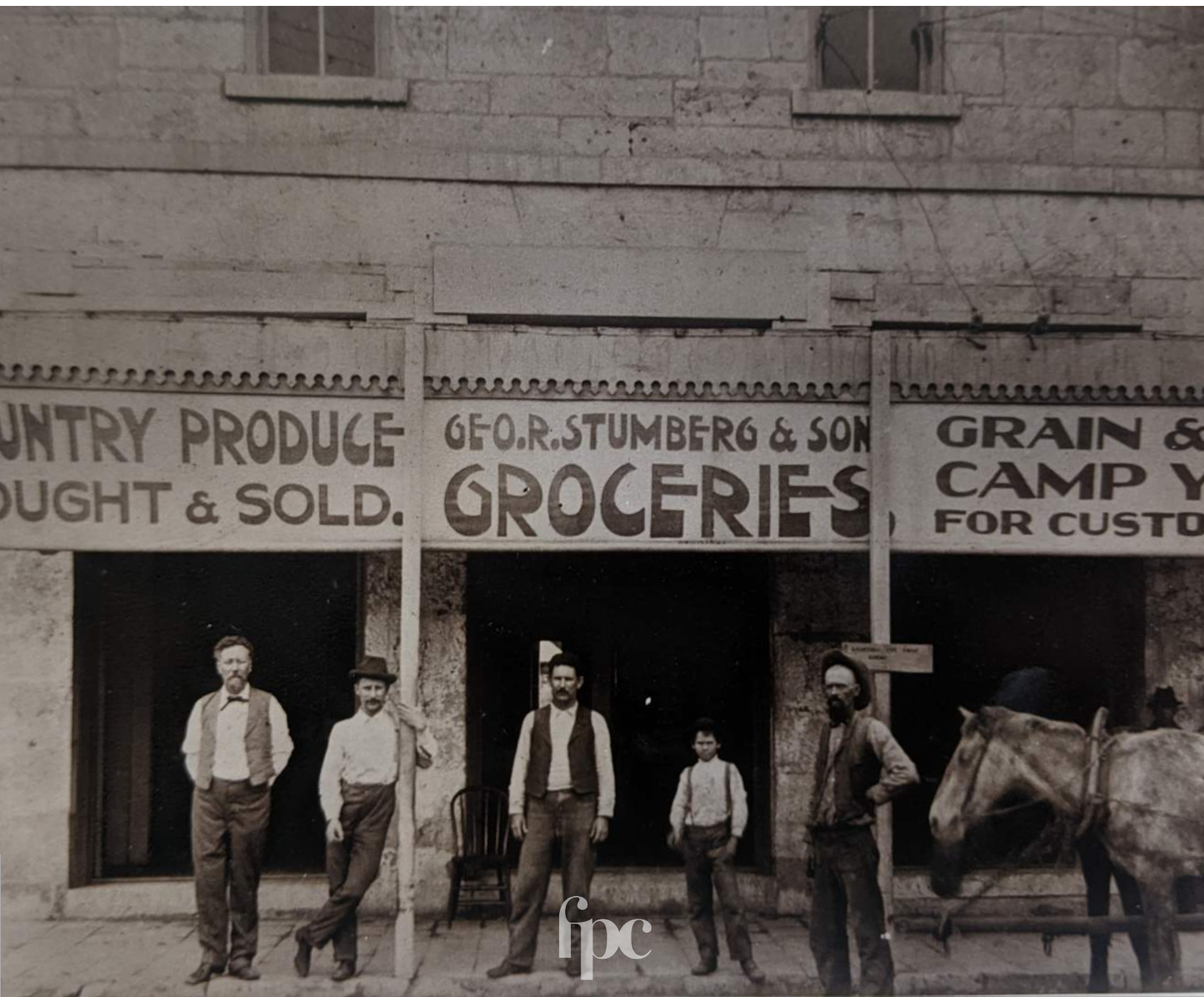






STUMBERG BLOCKS

212 S. Flores Street, San Antonio TX 78204
April 27, 2023





Ford, Powell & Carson, Inc.

Allison Chambers

Owner

Graystreet Partners

PROJECT DESCRIPTION



FORD POWELL CARSON

04/27/2023

HDRC Approval Application

212 S. Flores St – Stumberg Block

Office of Historic Preservation

1901 South Alamo

San Antonio, TX 78204

Project Description:

The Stumberg Block, established in 1870, is a collection of storefront buildings on the southeast corner of Nueva and South Flores Streets in downtown San Antonio, Texas. The Stumberg Block is designated as a City of San Antonio Historic Landmark and is located one block south of the boundary of the Main Plaza and Military Plaza Historic District. The buildings in this rehabilitation project are two of the four remaining buildings in the Stumberg Block including one- and two-story commercial buildings. These two connecting buildings originally operated as a general store, with a 2-acre camp yard located at the back of the store that provided space for 100 wagons. The buildings are in good condition and have had some minor alterations since their construction.

The one-story building located at 210-214 South Flores, built in c.1870, is a rectangular plan, commercial building with a flat roof and simply ornamented parapet. The main façade is a three-bay elevation and originally had exposed brick veneer, but was stuccoed in 1983. The wood storefront is asymmetrical, consisting of three entrances with display windows, and has a flat canopy. Entrances are double doors and two of them have transoms. The canopy lights were covered and the storefront bulkheads were replaced with glass blocks in 1983. Other features on the main façade include a metal belt course that runs above the canopy and four pilasters with stone capitals. The north elevation is an exposed irregular-coursed, ashlar limestone wall and there is an in-filled door opening. The rear façade consists of three wood and glass doors, flanked by windows on either side. The wood windows are four over four with segmental-arched brick lintels. The interior walls are made of limestone and are covered with plaster in some areas on the south wall. Four wood posts support the ceiling and wood joists are

exposed in many areas due to the previous removal of beadboard from the ceiling. Two doorways on the south wall connect this building to the two-story building at 216-218 South Flores Street.

The two-story limestone building, built in c.1870, is a rectangular plan, commercial building. The building has two wings and each one has a pitched roof. The southern wing was built first in c. 1870 as a one-story warehouse. In 1886, the second floor and northern wing were added. The main façade is of irregular-coursed, ashlar limestone units with a carved stone plaque at the center of the second floor that reads "GEO.R.STUMBERG ESTABLISHED 1870." The storefront on the main façade is asymmetrical and consists of two double doors with display windows, a single door at the south end, and transom windows with large masonry lintels above a flat canopy that runs the length of the storefront. The second floor on the main façade has four arched wood windows with curved stone lintels and projecting sills above a projecting belt course. The tall, narrow windows along with the projecting cornice with dentils and brackets give the building a simplified Italianate style. On the rear façade, each wing is divided into three bays with a door between two windows on the first floor and three windows on the second floor. At the first floor, wood windows are six over six and on the second floor, wood windows are four over four. The primary wall material on the rear and side elevations is also limestone.

The structure is a load bearing masonry wall perimeter with shallow footings. There is no basement known to exist at either structure. Columns exist on the second floor of the two story building directly over the loadbearing stone wall. The first floor is currently slab on grade. The floors of each space currently have different elevations with steep sloped elevation changes. The second floor structure is original wood framing as well as the existing wood roof structure and tongue and groove decking.

The owner is currently pursuing Historic Tax Credits and therefore the project scope accounts for the most comprehensive renovations that will be required by the Texas Historical Commission (THC). The scope area has already been approved for Part A of the Tax Credit process. Ford Powell & Carson (FPC) will adhere to THC and Office of Historic Preservation (OHP) recommendations in order to qualify for as many tax credits as possible for the project.

Structure:

It is proposed for the load of the new mechanical equipment and to update the loads to today's standards that the interior wood columns, beams, and trusses all be replaced with steel framing at the single store building. This will allow for higher live and dead loads on the roof. The columns will be placed in exact locations as the original and clad in wood to maintain that character. All salvageable

wood from the removal of the columns and beams will be claimed and reused in the project where appropriate and as needed.

It is proposed that the existing wood framing for the second-floor structure remain and be repaired and infilled as needed to meet the project's needs. The existing wood truss structure will remain, with an all new wood decking that is plumbed and shored up to today's standards.

Vertical Circulation:

The stairs in the north bay of the two-story building are not original and will be removed and replaced with an all steel exterior egress stair on the east elevation. The older interior wood stair on the south wall does not meet today's building code standards and clearances so it will be replaced with a steel and wood interior stair located along the central stone wall. A new elevator will be inserted into the north bay of the two-story building and should not require a penthouse. It should not be visible from the exterior of the building.

Exterior:

One-Story:

The West façade was originally red brick that has been stucco over. It is proposed to remove the existing stucco and repair the existing brick to remain. The metal belt-course will remain and be restored. It appears from historic photos that this façade has limestone coping stones. These stones will remain and be restored in-place. The brick façade will likely need to be sealed once the stucco is removed. Proposed "Prosoco H40 Water Repellent" equal or better. The North and East façade are exposed limestone walls. The East elevation contains the similar stucco at the base of the wall. This is also proposed to be removed and allow the natural limestone walls to breathe. The three facades will all be cleaned, re-pointed and repaired as needed with in-kind material.

The existing storefront on the West elevation is a non-historic aluminum system on a glass block bulkhead. It is proposed to remove both systems, including the associated three sets of wood double doors. These will be replaced with a wood storefront system that is clad in aluminum on the exterior. A "Pella Clad Wood Direct-Set" system or better/equal. The bulkheads will be painted wood that better fit the period of the building. The doors will be replaced with wood and glass door systems with associated transoms. The original transom windows have been infilled with stucco panels. These panels will be removed and if in fair condition, all wood transom windows will be restored. If they no longer exist or are damaged beyond repair, then they will be replaced with a similar system as the

proposed storefront directly below them. There was an original opening on the north elevation. This will be re-introduced as a wood storefront system to match the West elevation. The East elevation contains six double hung wood windows, all in poor condition and faced with iron security bars, built into a wood header beam. The security bars will be removed and refinished. The windows are to be removed and replaced with a double hung wood window system; “Pelle Reserve -Traditional, Wood Double-Hung Window” system or better/equal. The security bars will then be reinstalled but made removable for maintenance efforts on the window replacements. The door fenestrations on the east elevation are inconsistent with the masonry and window patterns. The doors are not original and will be removed. The fenestrations will be reworked to provide a pattern and alignment of what was most likely there.

The metal canopy system is unsound and will be replaced in its exact location, similar depth and structure/profile. The existing gutter and downspout system on the east elevation will be removed and replaced with a prefinished box gutter and round downspouts. The existing built-up roofing will be removed and replaced with a modified bitumen roofing system. The proposed roofing slope and elevation shall not change to avoid parapet profile modifications. Flashing systems shall terminate at the top of the coping stone and shall not be visible from the street view. It is proposed that the roofing mechanical equipment be placed on the southeast corner of the single-story building in order to avoid visibility from the main Flores street view. The equipment will be visible from the east parking area, so a modest perforated steel mechanical screen shall be installed as a visible shield and fall protection.

Two-Story:

The South, East and West facades of the two-story building will remain and will be completely cleaned with non-acidic masonry detergent and low-pressure spray. Each façade will also be repointed as needed with compatible mortar. A few limestone window sills have degraded beyond repair on the east façade and will need to be replaced with in-kind material. The south façade originally had two windows on the second floor, but due to building code, these will not be reopened. However, the existing brick masonry infill will be replaced with a honed cut limestone, recessed a min of 1.5” to create a shadow pocket. Any proposed limestone replacement will be done with in-kind material.

The existing west façade contains non-historic aluminum storefront systems and wood bulkheads. These will be removed and replaced with painted wood bulkheads that better fit the period of the building. The aluminum storefronts will be replaced with a wood storefront system that is clad in aluminum on the exterior. A “Pella Clad Wood Direct-Set” system or better/equal. The existing wood transoms on the west façade are to remain and be restored, following the Secretary of Interior

Standards. The double doors on the west elevation are not original and will be replaced with wood and glass doors to match the character and period of the building. The non original door on the east elevation will be replaced with a wood and glass door. The non-original existing wood windows on the west and east elevation are in poor condition and will be replaced with a double hung wood window system; “Pelle Reserve -Traditional, Wood Double-Hung Window” system or better/equal. The existing wood brick mold is thought to be original and shall remain and be restored at all window locations. Where it does not exist or is damaged beyond repair, it will be replaced to match the original.

The metal canopy system is unsound and will be replaced with exact location, similar depth and structure/profile. The existing metal cornice, will remain and be cleaned and refinished to its original color. The existing metal conductor heads are to remain and be restored, while the round downspouts will be replaced in-kind. The existing asphalt roofing will be removed and replaced with a new standing seam metal roof system. The proposed roofing elements shall not alter the existing roofing profile. Flashing systems shall terminate at the top of the coping stone and shall not be visible from the street view.

New construction Elements:

The buildings are to have all new systems, including electrical, lighting, mechanical, and plumbing. The building will also require a new fire alarm and sprinkler system. There is presently no sprinkler system in the building.

End of Project Description

CURRENT PHOTOGRAPHS



Stumberg Blocks: 212 S. Flores Street
Individual Landmark
TIRZ, Houston Street
Zoning, D





Image 1 – Stumberg Blocks Streetscape, Camera Facing Southeast, 12/2021



Image 2 – Stumberg Blocks Streetscape, Camera Facing Northeast, 12/2021



RESTORE HISTORIC
FACEBRICK

TRANSOMS TO BE
RESTORED

NEW WOOD BULKHEADS TO
REPLACE GLASS BLOCK

Image 3 – Building at 210-214 S Flores, Main Facade. Camera Facing Southeast. 12/2021



Image 4 – Building at 216-218 S Flores, Main facade. Camera Facing Southeast. 12/2021



EXISTING WOOD BRICK
MOLDING TO BE RESTORED

Image 5 – Building at 216-218 S Flores, Main facade. Camera Facing Northeast. 12/2021



Image 6 – Building at 216-218 S Flores, Storefront. Camera Facing South. 12/2021



Image 7 – Building at 210-214 S Flores, Storefront. Camera Facing Northeast. 12/2021



Image 8 – Building at 210-214 S Flores, Storefront. Camera Facing Northeast. 12/2021



Image 9 – Building at 210-214 S Flores, Storefront. Camera Facing South. 12/2021



Image 10 – Building at 210-214 S Flores, North Elevation. Camera Facing South. 12/2021



Image 11 – Building at 210-214 S Flores, North Elevation. Camera Facing Southwest. 12/2021

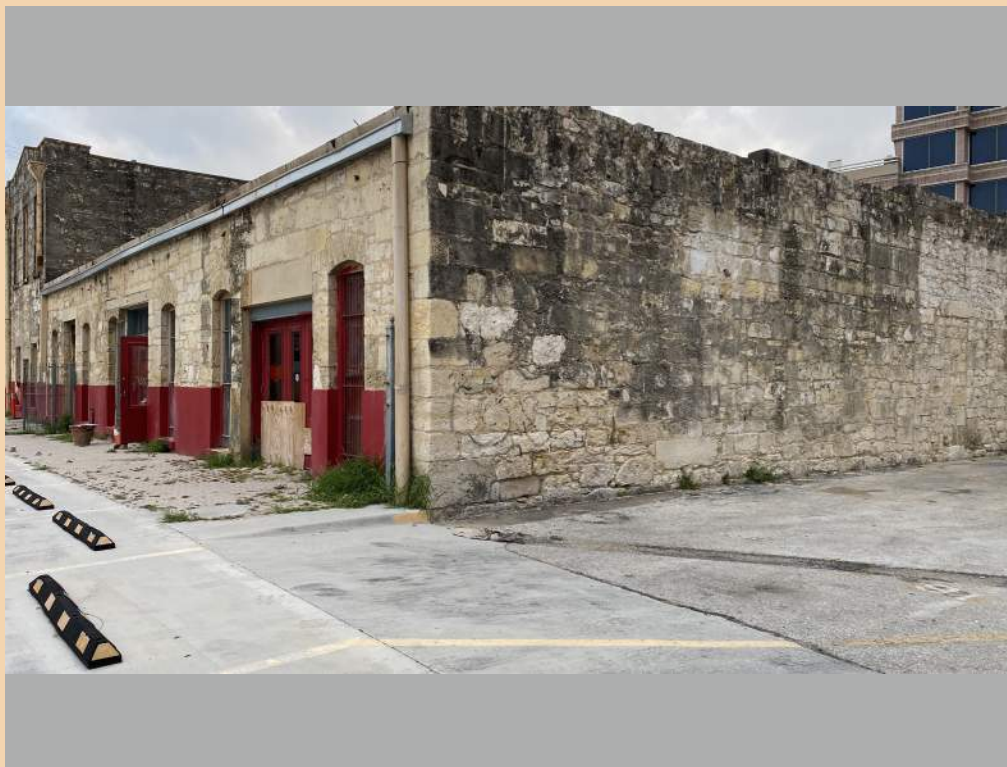


Image 12 – Building at 210-214 S Flores, North & East Elevations. Camera Facing Southwest. 12/2021



Image 13 – Building at 210-214 S Flores, East Elevation. Camera Facing Northwest. 12/2021

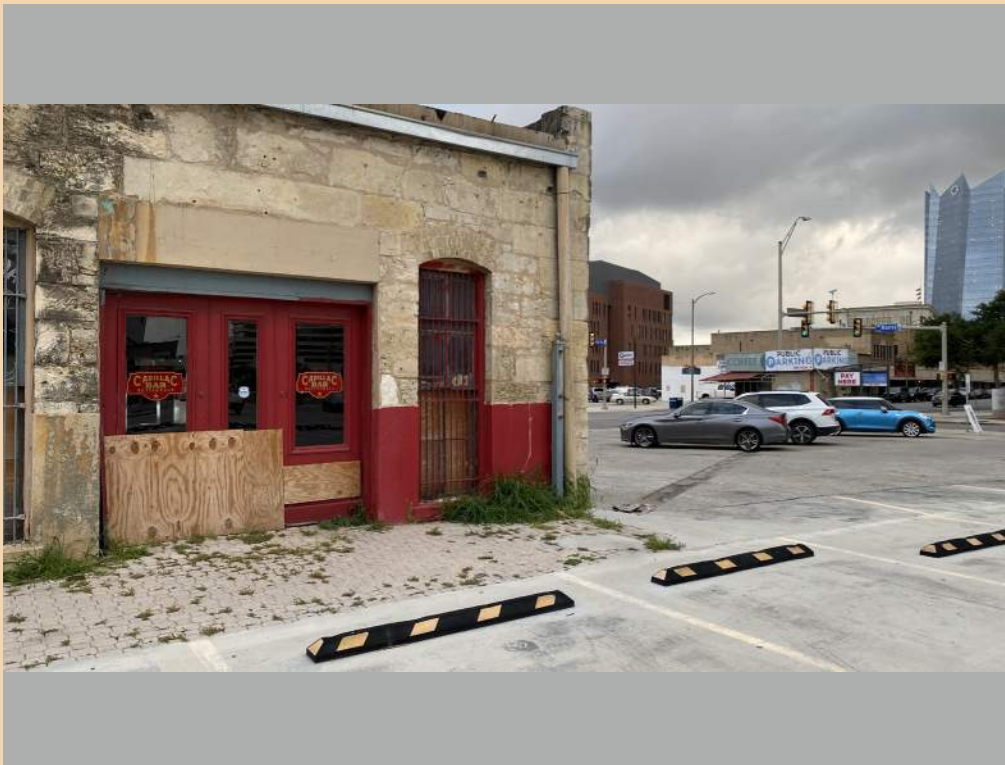


Image 14 – Building at 210-214 S Flores, East Elevation. Camera Facing Northwest. 12/2021



Image 15 – Building at 210-214 S Flores, East Elevation. Camera Facing Northwest. 12/2021

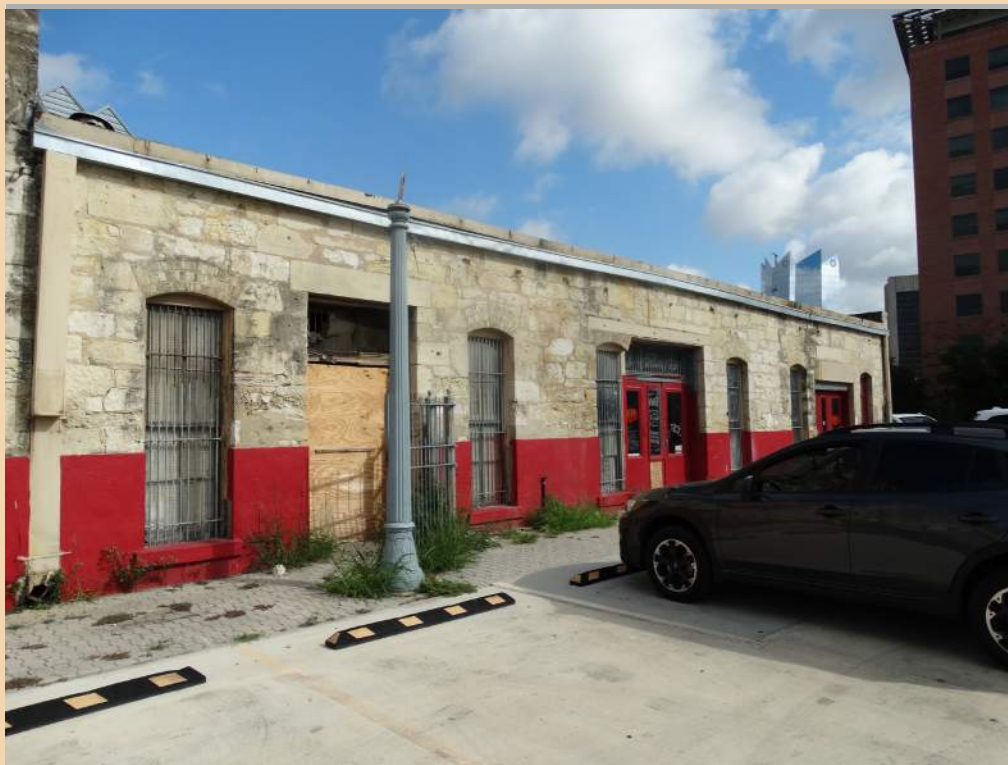
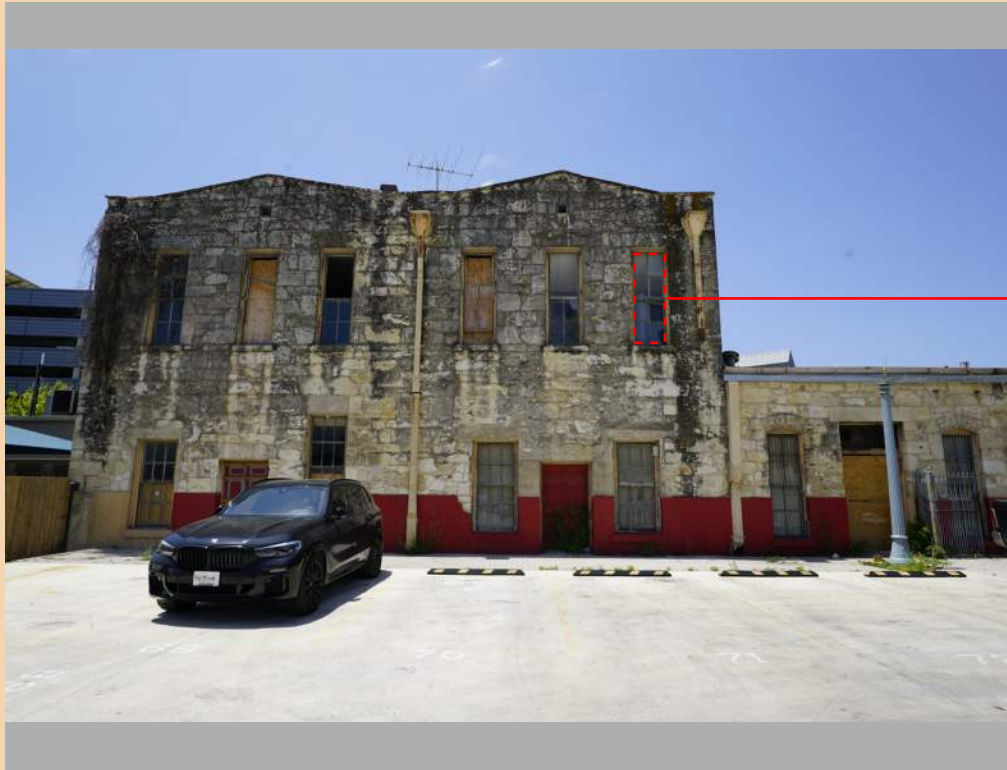


Image 16 – Building at 210-214 S Flores, East Elevation. Camera Facing North. 12/2021



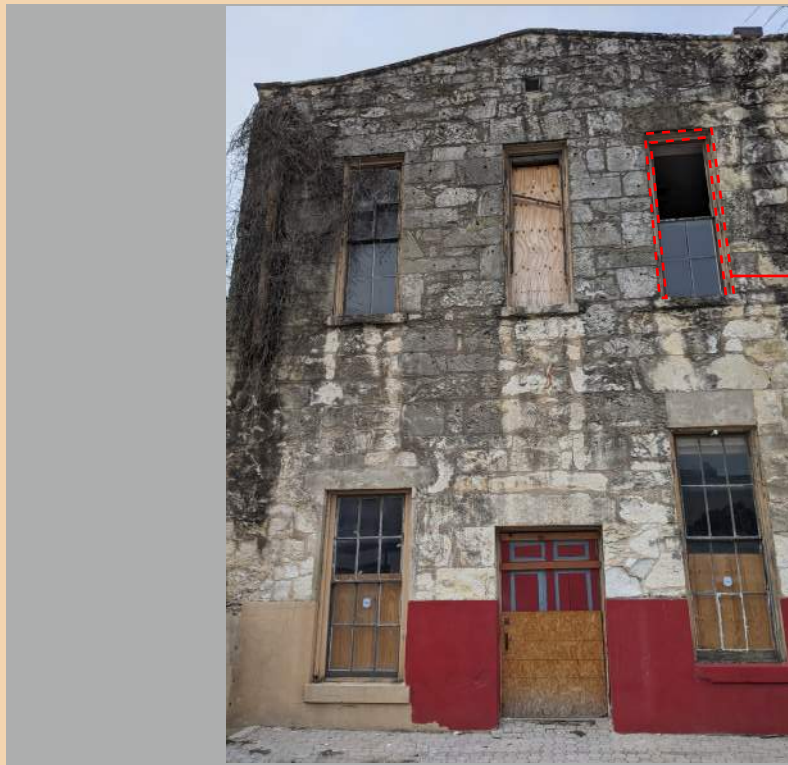
REPLACE WITH DOUBLE
HUNG WOOD WINDOWS,
MATCHING 4 OVER 4

Image 17 – Building at 216-218 S Flores, East Elevation. Camera Facing Northwest. 12/2021



REMOVE NON-HISTORIC
STUCCO COATING

Image 18 – Building at 216-218 S Flores, East Elevation. Camera Facing Northwest. 12/2021



EXISTING WOOD BRICK
MOLDING TO BE RESTORED

Image 19 – Building at 216-218 S Flores, East Elevation. Camera Facing Northwest. 12/2021



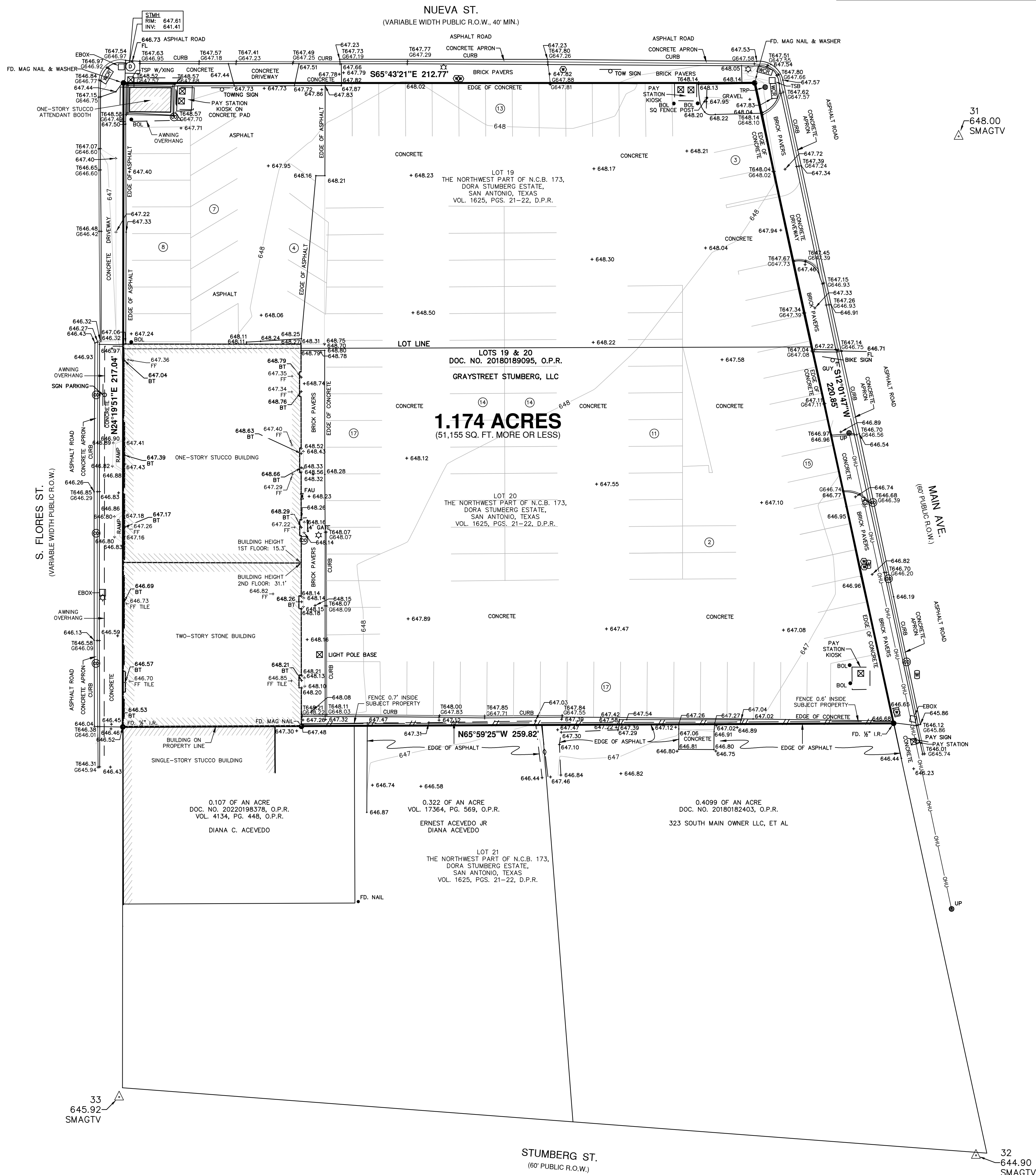
Image 20 – Building at 216-218 S Flores, North Elevation. Camera Facing Southwest. 12/2021

PLANS

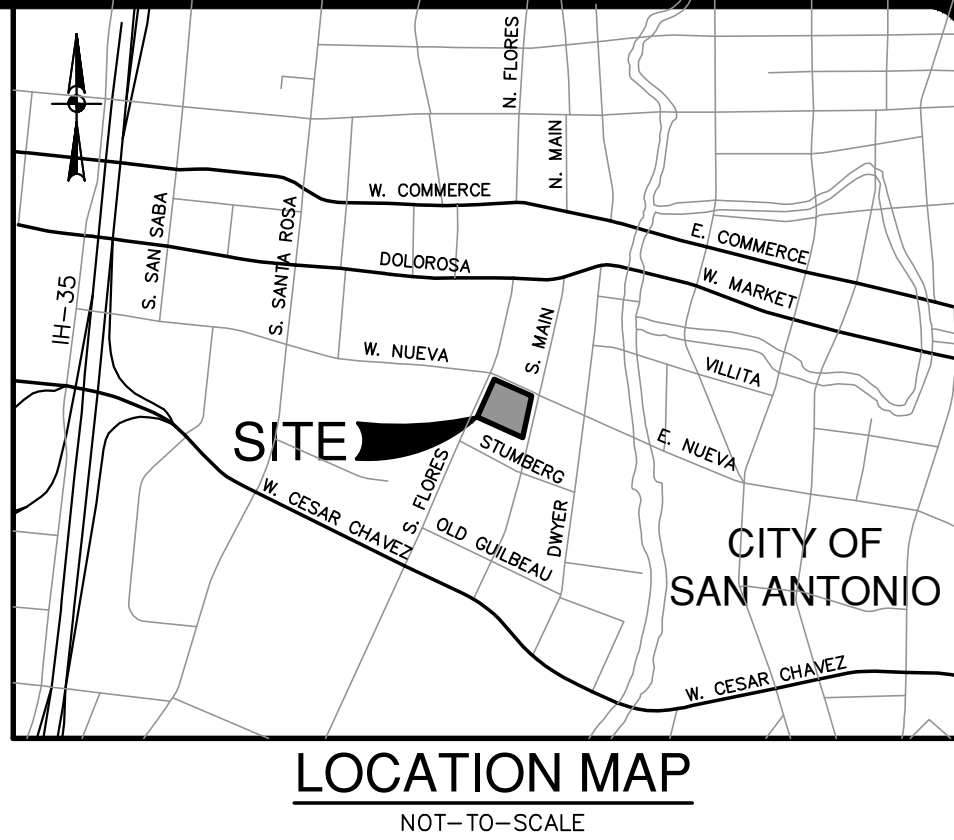
NOTES:

- 1) COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD 83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE, DISPLAYED IN SURFACE VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK USING A COMBINED SCALE FACTOR OF 1.00017.
- 2) THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 (GEOID 03).

REFERENCE: ---



HORIZONTAL AND VERTICAL CONTROL POINTS				
Point #	Northing	Easting	Elevation	Full Description
30	13,703,963.94	2,129,581.60	647.48	SET MAG NAIL (TRAV)
31	13,703,757.95	2,129,877.14	648.00	SET MAG NAIL (TRAV)
32	13,703,442.46	2,129,741.26	644.90	SET MAG NAIL (TRAV)
33	13,703,579.16	2,129,486.04	645.92	SET MAG NAIL (TRAV)



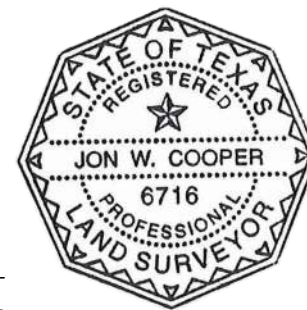
DEED/PLAT REFERENCE
D.P.R. DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
O.P.R. OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS

LEGEND		PARKING TABULATION:	
FD.	FOUND	STANDARD:	125
I.R.	1/2" IRON ROD	COMPACT:	00
(PD)	PAPE-DAWSON CAP	HANDICAP:	00
FF	FINISHED FLOOR	TOTAL	125
BT	BUILDING THRESHOLD		
T000.00	TOP OF CURB		
G000.00	GUTTER		

SYMBOL LEGEND	
⊙	BOL BOLLARD
⊖	CI CURB INLET
⊕	DMP DRAIN METAL PLATE
⊗	SANITARY SEWER CLEANOUT
⊠	EBOX ELECTRIC BOX
+	GATE
+	GUY GUY ANCHOR
⊙	LAMP POST
⊙	PARKING SPACES
⊙	ADVERTISING/ROAD/UTILITY SIGN WITH DESCRIPTION
⊙	STORM DRAIN MANHOLE
⊙	TRP TRAFFIC POLE
⊙	TSB TRAFFIC SIGNAL BOX
⊙	UP UTILITY POLE
⊙	W WATER METER
⊙	W WATER VALVE
⊙	SET 1/2" I.R.(PD)
⊙	FOUND

DATE OF PLAT OR MAP: MARCH 16, 2023

JON W. COOPER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6716
JONCOOPER@PAPE-DAWSON.COM



TOPOGRAPHIC SURVEY

LOTS 19 AND 20, THE NORTHWEST PART OF N.C.B. 173,
DORA STUMBERG ESTATE, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

JOB NO.	13021-00
DATE	MARCH 2023
CHECKED_JWC_DRAWN_ERG	
CIVIL JOB NO.	---
REFERENCE:	---
SHEET	1 OF 1

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

REVISION		DATE
NO.		

PROJECT NAME: 212 S. FLORES



GENERAL DEMOLITION NOTES

- A. REFER TO SHEET G0.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. AT NO TIME SHALL THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS CALLED OUT TO REMAIN DURING ALL CONSTRUCTION OPERATIONS.
- D. SPECIAL ATTENTION IS TO BE PAID BY THE CONTRACTOR AND SUBCONTRACTORS FOR THE SAFETY AND PRESERVATION OF ANY HISTORIC ARCHITECTURAL ITEMS POSSIBLY MISSING OR CURRENTLY ENTOMBED BY ANY NON-HISTORIC MATERIALS. ANY MATERIALS, ARCHITECTURAL ELEMENTS, OR HARDWARE BEING REMOVED FROM THE STRUCTURE DURING DEMOLITION, AS WELL AS DURING RESTORATION PROCESS, SHALL BE ASSESSED FOR THEIR VALUE, PROTECTED, AND POSSIBLY BE USED FOR REUSE. NOTIFY ARCHITECT FOR ANY SUCH OCCURRENCES.
- E. ALL ELECTRICAL CONDUITS, PANEL BOXES, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL BE REMAIN, AND PROTECTED DURING CONSTRUCTION.
- F. ALL HVAC RELATED EQUIPMENT, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL REMAIN AND P ROTECTED DURING CONSTRUCTION.
- G. PARTITIONS NOTED TO BE REMOVED BY NOTES OR PLAN LEGEND SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ANY BRACING OR ASSOCIATED FRAMING TO STRUCTURE ABOVE.
- H. FOR ALL DEMOREMOVAL WORK, EXERCISE CAUTION TO PREVENT DAMAGE TO EXISTING ADJACENT FINISHES AND MATERIALS THAT ARE DESIGNATED TO REMAIN.
- J. DEMOLITION OPERATIONS MAY REVEAL ARCHITECTURAL, STRUCTURAL OR SUBGRADE CONDITIONS WHICH WERE PREVIOUSLY UNKNOWN. UNFORESEEN HISTORIC MATERIAL, DETAILS OR FEATURES MAY ALSO SURFACE DURING DEMOLITION OPERATIONS. STOP ALL WORK IN THIS AREA, PROTECT THE HISTORIC MATERIAL AND NOTIFY ARCHITECT FOR FURTHER INSTRUCTIONS.
- K. ALL EXTERIOR DEMOLITION OPERATIONS ARE DESCRIBED ON THE SITE PLAN SHEET AND ON THE EXTERIOR DEMOLITION ELEVATION SHEETS.
- L. ANY DAMAGES TO ITEMS DESIGNATED AS EXISTING TO REMAIN DONE BY THE CONTRACTOR OR ANY OF THEIR SUBCONTRACTORS, MUST BE REPAIRED OR RESTORED BY RESPECTS TO RETURN THE ITEM TO ITS CONDITION PRIOR TO THE START OF THE PROJECT. THIS WILL BE DONE AT NO ADDITIONAL CHARGES TO THE OWNER.
- M. ALL WINDOWS ARE TO BE REMAIN. REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION ON PROPOSED WORK. TAKE CARE NOT TO DAMAGE ANY REMAINING HISTORIC MATERIAL AT OPENINGS.
- N. ALL DUCTING AND MECHANICAL EQUIPMENT ABOVE CEILING AND IN STRUCTURAL PLENUM SPACE IS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- P. NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

1. EXISTING STREET LAMP POST TO REMAIN
2. EXISTING PARKING STRIPING TO REMAIN
3. AREA OF ASPHALT TO BE REMOVED AND PREPPED FOR NEW BIKE RACK CONCRETE SLAB
4. REMOVE EXISTING CANOPY, REFER TO DEMO ROOF PLAN
5. REMOVE EXISTING PARKING STRIPING
6. AREA OF ASPHALT TO BE REMOVED AND PREPPED FOR NEW CONCRETE WALKWAY
7. AREA OF EXISTING PAVERS AND CONCRETE TO BE REMOVED AND PREPPED FOR NEW CONCRETE WALKWAY
8. AREA OF EXISTING CONCRETE SIDEWALK TO BE REMOVED IN PREPARATION OF NEW C.I.P. ACCESSIBLE SIDEWALK.

DEMOLITION SITE PLAN LEGEND

- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING BUILDING OR VERTICAL STRUCTURE TO REMAIN AND NOT IN SCOPE
- EXISTING NON-HISTORICAL MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES
- EXISTING PROPERTY LINES
- EXISTING ASPHALT TO BE REMOVED
- EXISTING PAVERS TO BE REMOVED

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GRAY STREET PARTNERS

STUMBERG BLOCK

RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

This document dated 02/06/2023 is incomplete. Do not use for regulatory approval, permit, or construction

Revisions		
Mark	Date	Description

Drawn By:
Author

Approved By:
Approver

Project Number:
100702

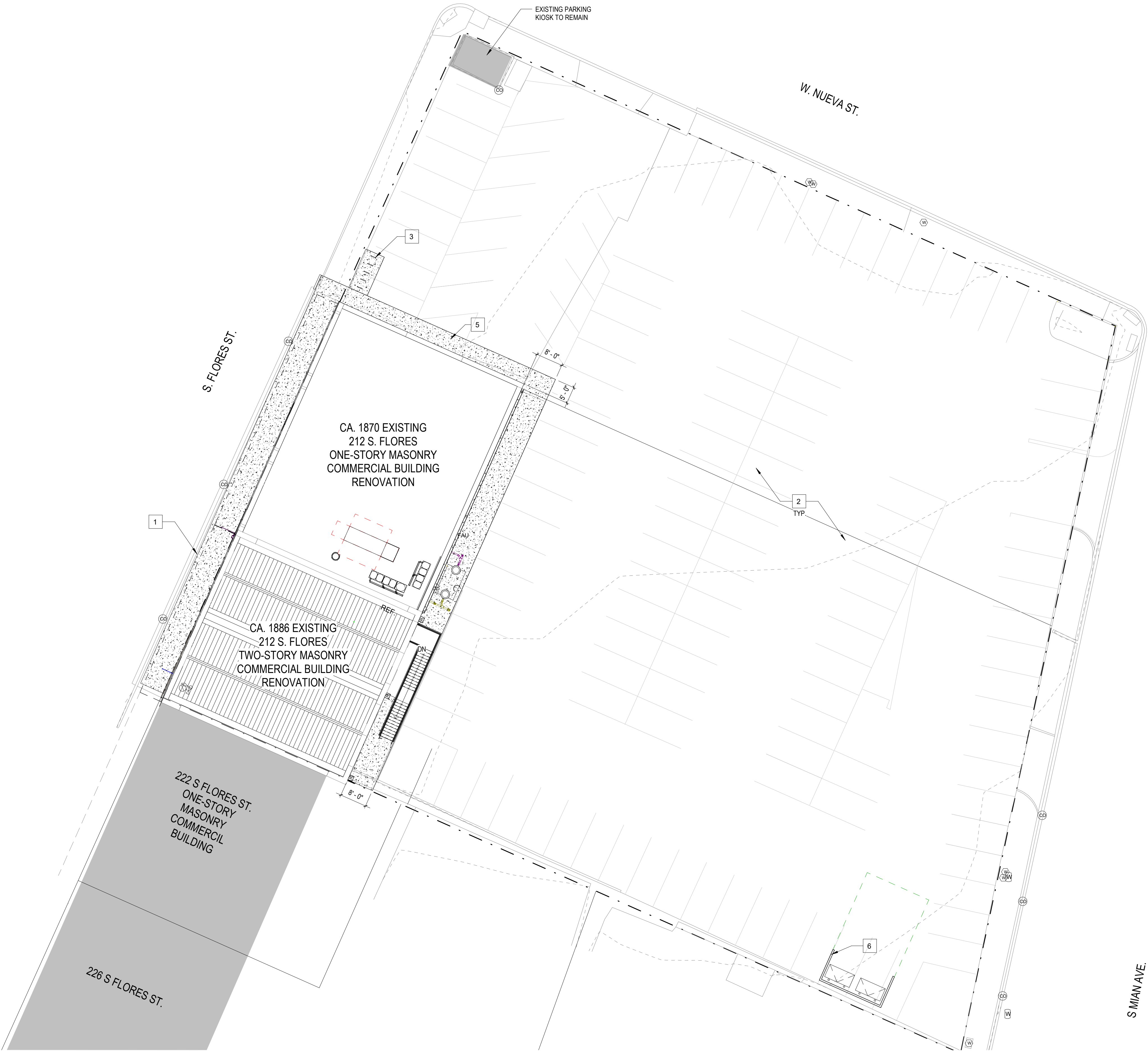
Project Issue Date:
02/06/2023

DEMOLITION SITE PLAN

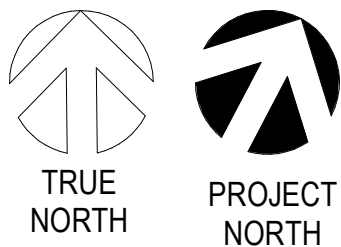
CONSTRUCTION DOCUMENTS

SHEET

D001



1 SITE PLAN
SCALE: 1/16" = 1'-0"



- GENERAL NOTES
- A. REFER TO SHEET G0.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
 - B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
 - C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING. REFER TO INDIVIDUAL SHEET FOR SPECIFIC NOTES.
 - D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF FINISHED WALL UNLESS NOTED ON PLANS.
 - E. REFER TO 'D' SHEETS FOR DEMOLITION.
 - F. REFER TO SHEET A6.01 FOR PARTITION TYPES.
 - G. REFER TO A600 FOR WINDOW SCHEDULE.
 - H. REFER TO A600 FOR DOOR SCHEDULE.
 - J. REFER TO A1.02 FOR REFLECTED CEILING PLANS.
 - K. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.
 - L. PROTECT ALL EXISTING ADJACENT WALLS/DOORS WHERE NEW WORK IS TO OCCUR. PATCH AND REPAIR ANY DAMAGED AREAS RESULTING FROM DEMOLITION OR NEW WORK. MATCH ADJACENT FINISHES AND COLORS.
 - M. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND THE CONTRACTOR SHALL REVIEW AND CORRELATE THE INTENT OF EACH PART IN THE EXECUTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT ON ANY ISTEMS OR ISSUES IN QUESTION PRIOR TO PROCEEDING WITH WORK.
 - N. ALERT THE ARCHITECT OF ANY DISCREPENCIES OR BUSTS IN THE DIMENSIONS THAT MAY RESULT IN CLANCE OR SPACE PLANNING RESTRICTIONS BEFORE PROCEEDING WITH FRAMING THE AREA OF CONCERN.
 - P. THESE DRAWINGS SHOW GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS FOR FURTHER INFORMATION APPLICABLE TO THESE PLANS.
 - Q. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.
 - R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

- KEYNOTES
- 1. EXISTING STREET LAMP POST TO REMAIN
 - 2. EXISTING PARKING STRIPING TO REMAIN
 - 3. "U" SHAPED BICYCLE RACKS, PROVIDING 10 SPOTS, REQUIRED 9.
 - 4. NEW METAL CANOPY, SHOWN DASHED FOR CLARITY, REFER TO ROOF PLAN
 - 5. NEW CONCRETE WALKWAY, ASSURE MAX. 2% SLOPE
 - 6. MASONRY DUMPSTER ENCLOSURE

SITE PLAN LEGEND

[Pattern]	EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
[Pattern]	EXISTING BUILDING OR VERTICAL STRUCTURE TO REMAIN AND NOT IN SCOPE
[Pattern]	PROPOSED NEW SITE ELEMENT OR FLAT WORK
[Pattern]	EXISTING PROPERTY LINES
[Pattern]	NEW CONCRETE WALKWAY OR SITE WORK

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GRAYSTREET PARTNERS

GRAY ST PARTNERS

STUMBERG BLOCK

RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

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Revisions		
Mark	Date	Description

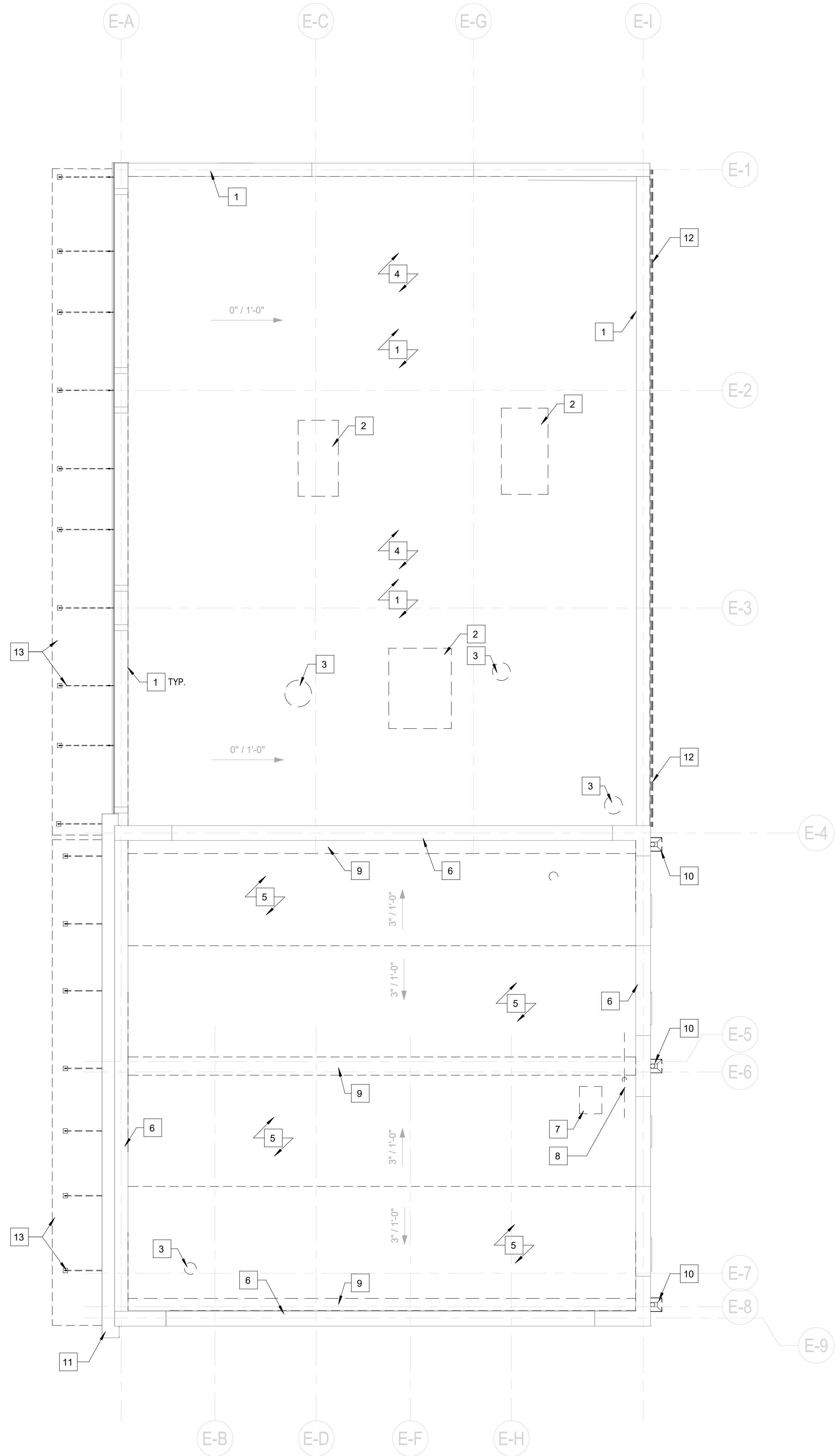
Drawn By:	Approved By:
VR	AC
Project Number:	Project Issue Date:
100702	02/06/2023

SITE PLAN

OHP APPROVAL

SHEET

A001



1 ROOF PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- A. REFER TO SHEET 00.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
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- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

1. REMOVE EXISTING BUILT UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ALL ASSOCIATED PARAPET ROOFING MATERIAL AND COATINGS FROM STONE WALLS AND COPINGS. TAKE CARE NOT TO DAMAGE EXISTING HISTORIC LIMESTONE.
2. REMOVE EXISTING ROOF TOP MECHANICAL UNITS AND ALL ASSOCIATED PIPING AND ELECTRICAL EQUIPMENT.
3. REMOVE EXISTING ROOF TOP FANS/VENTS.
4. REMOVE EXISTING TONGUE AND GROOVE WOOD DECKING. REFER TO STRUCTURAL FOR MORE INFORMATION.
5. REMOVE EXISTING ASPHALT ROOF SHINGLE AND ANY ASSOCIATED UNDERLAYMENT.
6. REMOVE ALL EXISTING PARAPET WATERPROOFING MATERIAL AND ASSOCIATED COATINGS FROM INSIDE AND TOP OF PARAPET WALLS.
7. REMOVE EXISTING ROOF HATCH AND ASSOCIATED FLASHING.
8. REMOVE EXISTING ANTENNAS AND ASSOCIATED MOUNTING HARDWARE.
9. REMOVE EXISTING BUILT-IN GUTTER SYSTEM LINING AND ALL ASSOCIATED FLASHING.
10. EXISTING HISTORIC METAL CONDUCTOR HEAD TO BE SALVAGED AND STORED FOR REINSTALLATION.
11. EXISTING METAL CORNICE IS TO REMAIN AND BE PROTECTED.
12. EXISTING GUTTER AND ASSOCIATED DOWNSPOUTS TO BE REMOVED.
13. REMOVE EXISTING METAL CANOPY AND ALL ASSOCIATED, FRAMING AND TIE RODS. REFER TO STRUCTURAL.

DEMOLITION PLAN LEGEND

- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING MASONRY WALL OR PARTITION TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING NON-HISTORICAL MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES
- EXISTING NON-HISTORIC INFILL MASONRY TO BE DISMANTLED AND REMOVED CAREFULLY

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GRAYSTREET PARTNERS

STUMBERG BLOCK

GRAY ST PARTNERS

RESTAURANT AND FINISH OUT

Architect: Adam Reed

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Revisions

Mark	Date	Description
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Drawn By:
Author

Approved By:
Approver

Project Number:
100702

Project Issue Date:
02/06/2023

DEMOLITION ROOF PLAN

CONSTRUCTION DOCUMENTS

SHEET

D102

TRUE NORTH

PROJECT NORTH

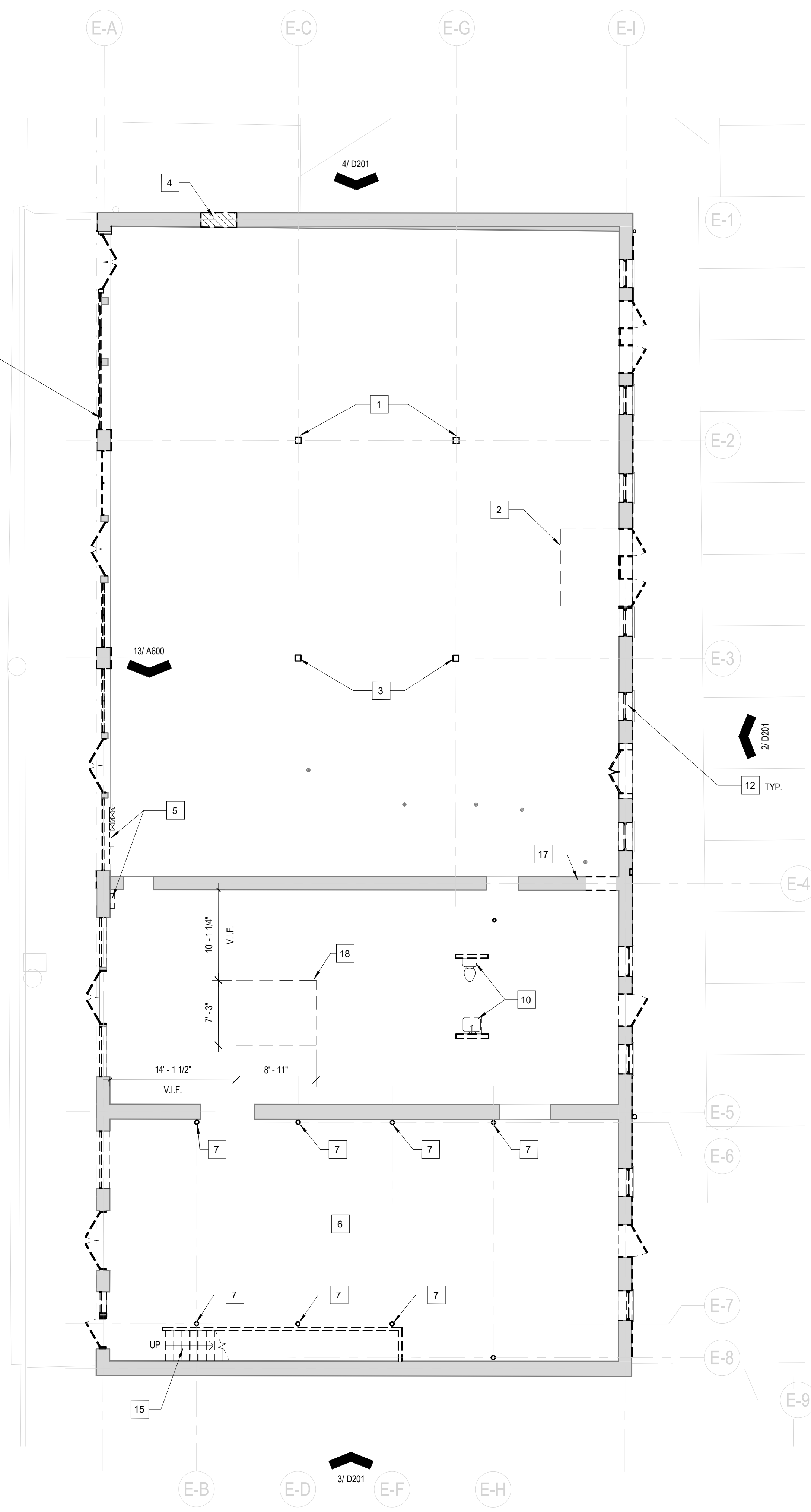
Revisions		
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Drawn By:	Approved By:
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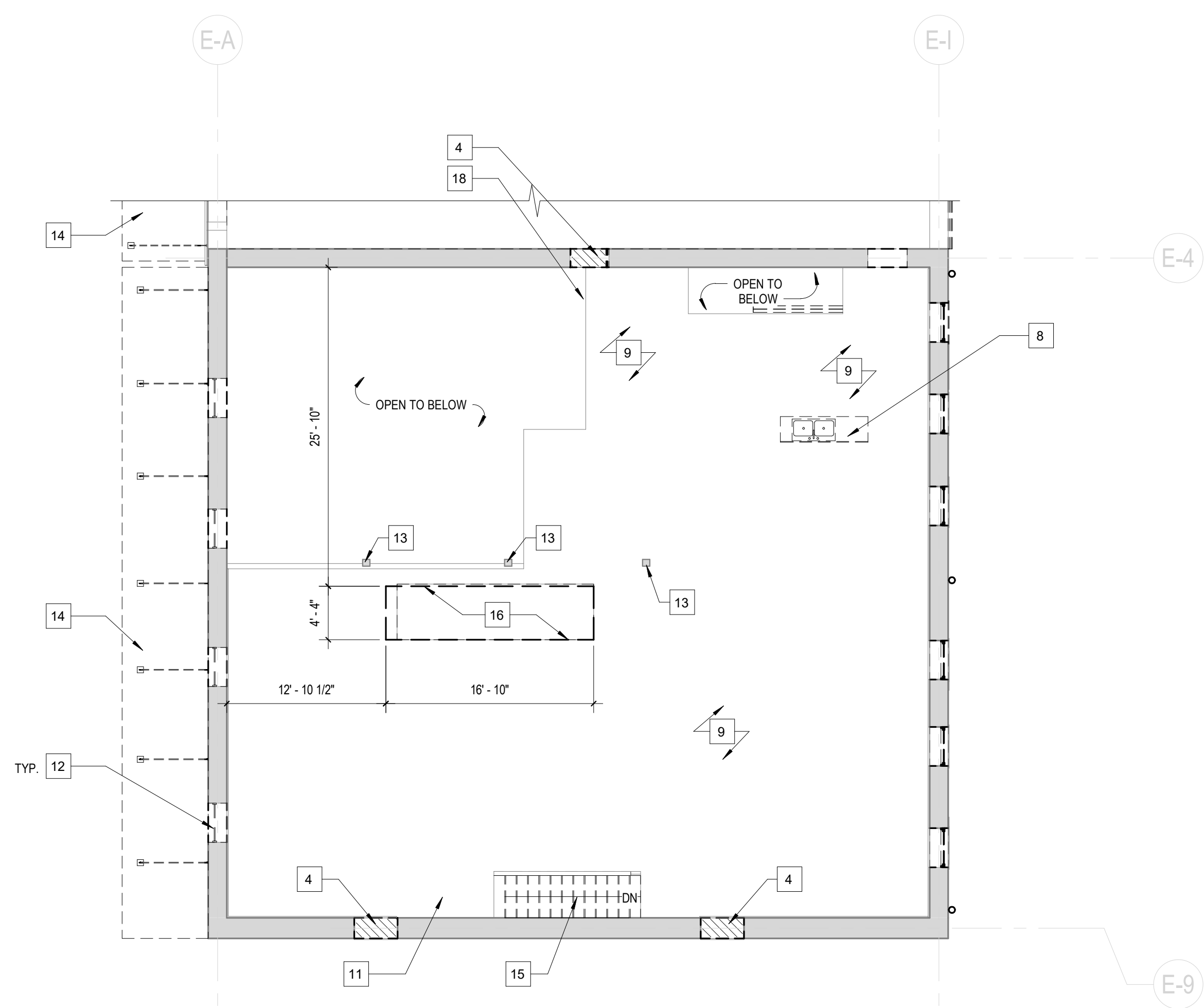
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- KEYNOTES
1. EXISTING PLASTER ENCLOSURE TO BE REMOVED FROM HISTORIC WOOD COLUMN. TAKE CARE NOT TO DAMAGE WOOD COLUMN TO REMAIN
2. REMOVE EXISTING CONCRETE RAMP
3. EXISTING WOOD COLUMNS TO REMAIN, PROTECT DURING CONSTRUCTION
4. REMOVE EXISTING NON-HISTORIC MASONRY INFILL IN PREPARATION OF ORIGINAL FENESTRATION AND NEW REPLICA WOOD WINDOW.
5. EXISTING ELECTRICAL PANELS, CONDUITS, STUB UPS AND ALL OTHER COMPONENTS TO THE ELECTRICAL SYSTEM ARE TO BE REMOVED. REFER TO ELECTRICAL DRAWINGS
6. REMOVE A 12" X 12" SQUARE AREA OF CONCRETE SLAB FOR OBSERVATIONS.
7. REMOVE STRUCTURAL STEEL PIPE COLUMNS. REFER TO STRUCTURAL DRAWINGS
8. PLUMBING CHASE TO BE REMOVED. ALL ASSOCIATED PIPING AND CONDUIT TO BE REMOVED. REFER TO PLUMBING DRAWINGS.
9. EXISTING NON-HISTORIC FLOORING FINISH MATERIAL TO BE REMOVED DOWN TO SUBSTRATE/DECKING, TYPICAL, THROUGHOUT SECOND LEVEL.
10. PLUMBING FIXTURES TO BE REMOVED AND ALL ASSOCIATED PIPING. REFER TO PLUMBING DRAWINGS.
11. EXISTING MECHANICAL EQUIPMENT, ASSOCIATED PLATFORMS AND ALL COMPONENTS TO BE REMOVED.
12. REMOVE EXISTING WOOD WINDOW, TYPICAL.
13. ASSUMED STRUCTURAL COLUMN, TAKE CARE NOT TO DAMAGE OR DISTURB EXISTING COLUMN. REFER TO STRUCTURAL DRAWINGS.
14. EXISTING METAL CANOPY AND ASSOCIATED TIE RODS TO BE REMOVED.
15. EXISTING WOOD STAIR TO BE REMOVED.
16. EXISTING AREA OF FLOORING AND STRUCTURAL FRAMING TO BE REMOVED IN PREPERATION OF PROPOSED NEW STAIR.
17. EXISTING HISTORIC MASONRY WALL TO BE REMOVED IN PREERATION OF NEW DOOR OPENING. REFER TO STRUCTURAL DRAWINGS AND NEW FLOOR PLAN
18. AREA OF EXISTING CONCRETE SLAB TO BE REMOVED IN PREPERATION OF NEW ELEVATOR PIT.

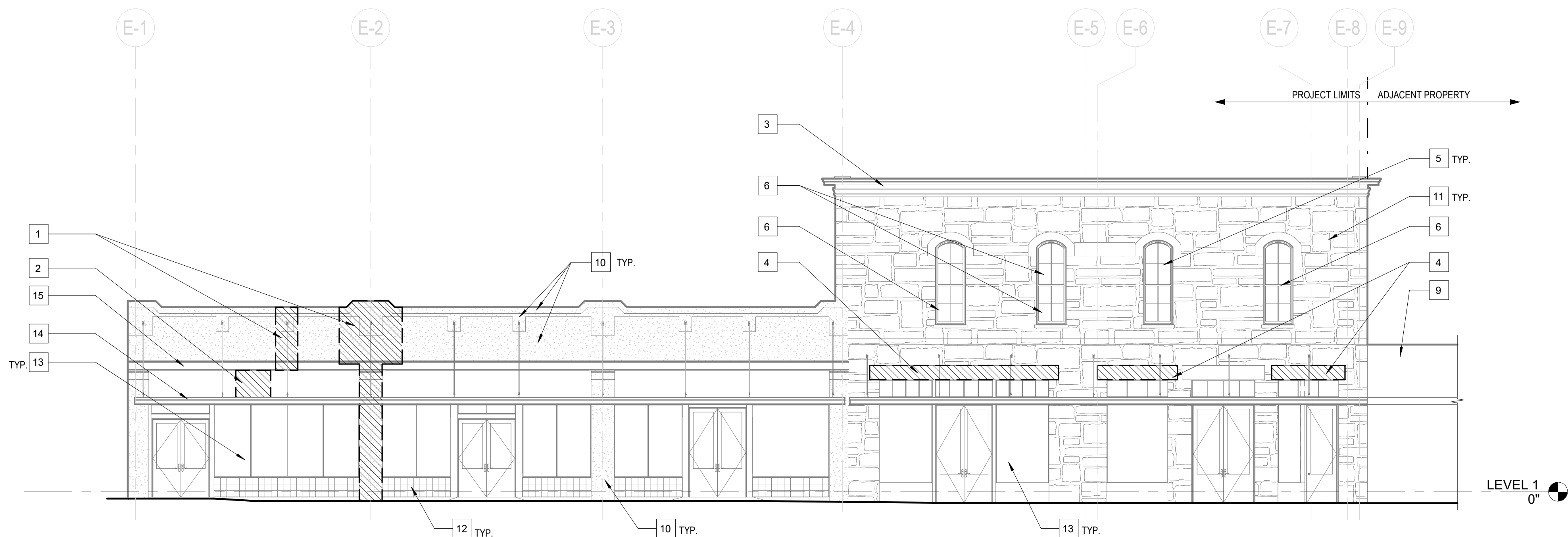
- DEMOLITION PLAN LEGEND
- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING MASONRY WALL OR PARTITION TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING NON-HISTORICAL MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES
- EXISTING NON-HISTORIC INFILL MASONRY TO BE DISMANTLED AND REMOVED CAREFULLY



1 LEVEL 1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



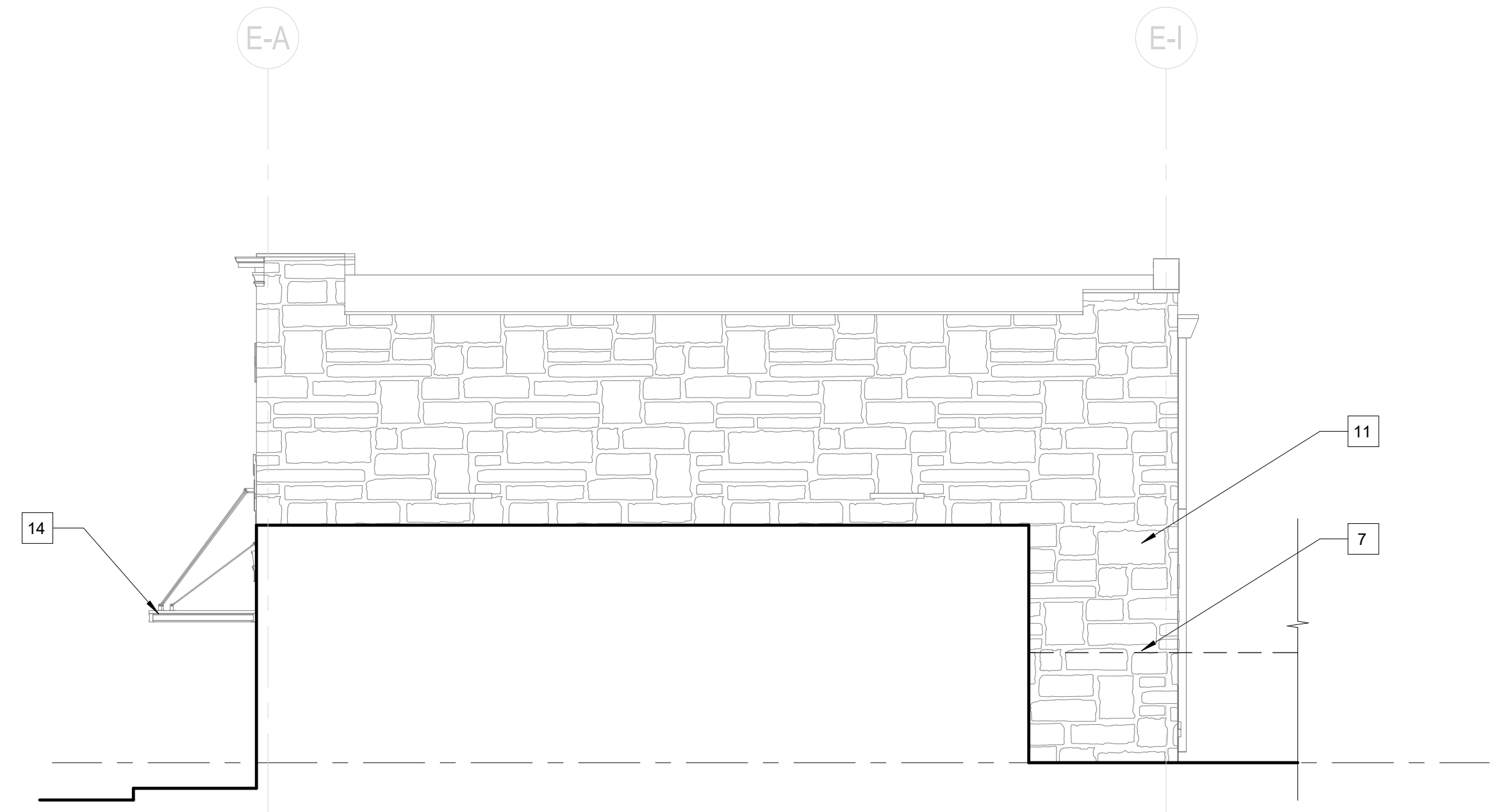
2 LEVEL 2 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



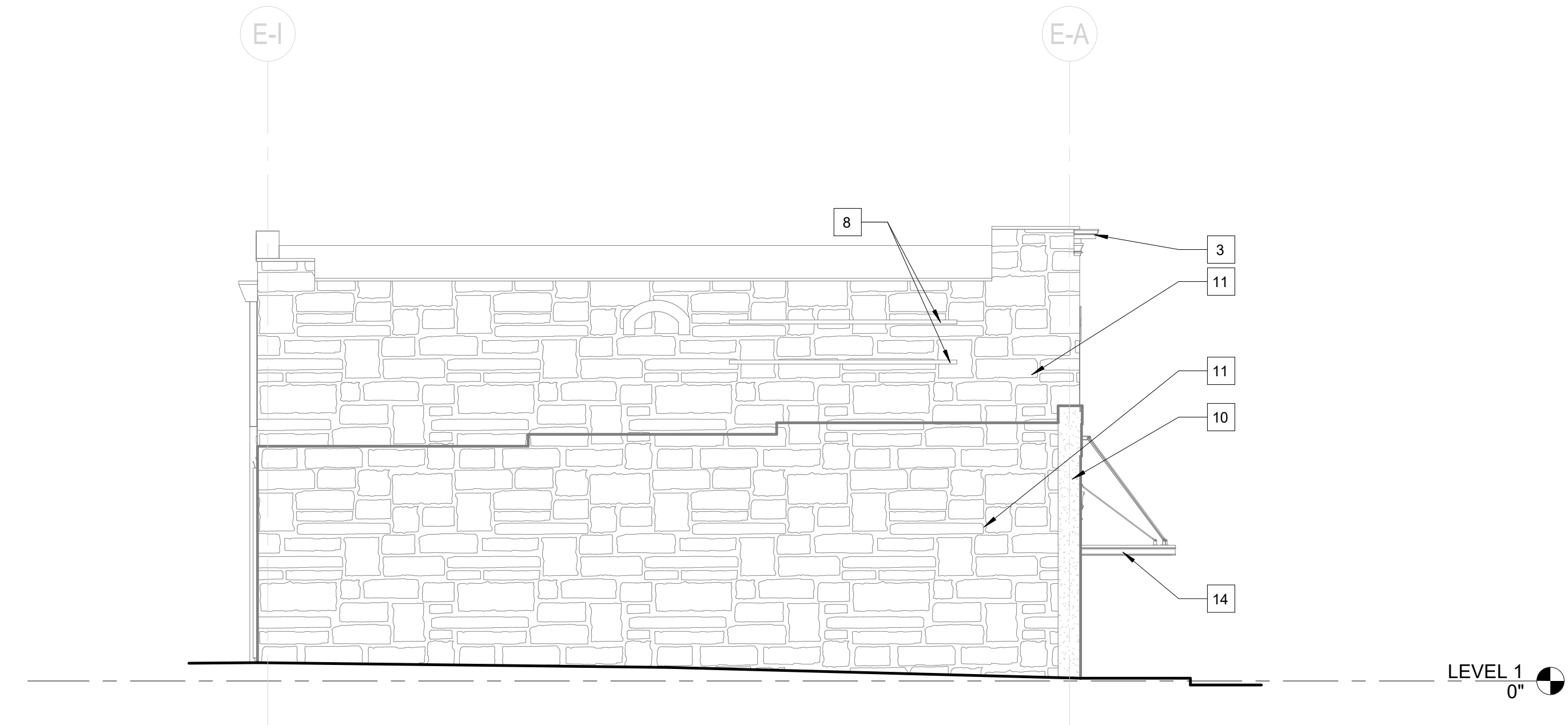
1 DEMO WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 DEMO NORTH ELEVATION
SCALE: 1/8" = 1'-0"

- GENERAL DEMOLITION NOTES**
- REFER TO SHEET GD.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
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 - AT NO TIME SHALL THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS CALLED OUT TO REMAIN DURING ALL CONSTRUCTION OPERATIONS.
 - SPECIAL ATTENTION IS TO BE PAID BY THE CONTRACTOR AND SUBCONTRACTORS FOR THE SAFETY AND PRESERVATION OF ANY HISTORIC ARCHITECTURAL ITEMS POSSIBLY MISSING OR CURRENTLY ENTOMBED BY ANY NON-HISTORIC MATERIALS. ANY MATERIALS, ARCHITECTURAL ELEMENTS, OR HARDWARE BEING REMOVED FROM THE STRUCTURE DURING DEMOLITION, AS WELL AS DURING RESTORATION PROCESS, SHALL BE ASSESSED FOR THEIR VALUE, PROTECTED, AND POSSIBLY BE USED FOR REUSE. NOTIFY ARCHITECT FOR ANY SUCH OCCURRENCES.
 - ALL ELECTRICAL CONDUITS, PANEL BOXES, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL BE REMAIN, AND PROTECTED DURING CONSTRUCTION.
 - ALL HVAC RELATED EQUIPMENT, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL REMAIN AND P ROTECTED DURING CONSTRUCTION.
 - PARTITIONS NOTED TO BE REMOVED BY NOTES OR PLAN LEGEND SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ANY BRACING OR ASSOCIATED FRAMING TO STRUCTURE ABOVE.
 - FOR ALL DEMOREMOVAL WORK, EXERCISE CAUTION TO PREVENT DAMAGE TO EXISTING ADJACENT FINISHES AND MATERIALS THAT ARE DESIGNATED TO REMAIN.
 - DEMOLITION OPERATIONS MAY REVEAL ARCHITECTURAL, STRUCTURAL OR SUBGRADE CONDITIONS WHICH WERE PREVIOUSLY UNKNOWN, UNFORESEEN HISTORIC MATERIAL, DETAILS OR FEATURES MAY ALSO SURFACE DURING DEMOLITION OPERATIONS. STOP ALL WORK IN THIS AREA, PROTECT THE HISTORIC MATERIAL AND NOTIFY ARCHITECT FOR FURTHER INSTRUCTIONS.
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 - ANY DAMAGES TO ITEMS DESIGNATED AS EXISTING TO REMAIN DONE BY THE CONTRACTOR OR ANY OF THEIR SUBCONTRACTORS, MUST BE REPAIRED OR RESTORED BY RESPECTS TO RETURN THE ITEM TO ITS CONDITION PRIOR TO THE START OF THE PROJECT. THIS WILL BE DONE AT NO ADDITIONAL CHARGES TO THE OWNER.
 - ALL WINDOWS ARE TO BE REMAIN. REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION ON PROPOSED WORK. TAKE CARE NOT TO DAMAGE ANY REMAINING HISTORIC MATERIAL AT OPENINGS.
 - ALL DUCTING AND MECHANICAL EQUIPMENT ABOVE CEILING AND IN STRUCTURAL PLENUM SPACE IS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
 - ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

- KEYNOTES**
- THIS AREA OF THE FACADE IS TO BE CAREFULLY STRIPPED OF ALL CONTEMPORARY CEMENTITIOUS SURFACE MATERIAL FOR OBSERVATIONS OF ORIGINAL HISTORICAL MATERIAL REMAINING. ALL WORK PERTAINING TO THIS SCOPE SHALL BE CONDUCTED BY A QUALIFIED MASONRY CONSERVATOR OR RESTORATION CONTRACTOR
 - CAREFULLY REMOVE SELECT SURFACE MATERIAL FROM TRANSOM AREA AT THIS LOCATION ONLY. NOTIFY ARCHITECT OF ANY HIDDEN SUBSTRATE MATERIAL SUCH AS WINDOW SASHES OR GLAZING
 - EXISTING METAL CORNICE TO REMAIN AND BE PROTECTED
 - CAREFULLY REMOVE SELECT SURFACE MATERIAL FROM LUNTEL AREA AT THIS LOCATION ONLY. NOTIFY ARCHITECT OF ANY HIDDEN SUBSTRATE MATERIAL SUCH AS STEEL OR MASONRY
 - EXISTING WOOD WINDOWS TO REMAIN
 - INSTALL TEMPORARY PLYWOOD PANELING AT THIS WINDOW LITE
 - EXISTING WOOD PRIVACY FENCE, SHOWN DASHED FOR CLARITY
 - EXISTING 2X WOOD MEMBERS ON FACE OF WALL, TO REMAIN.
 - EXISTING ADJACENT BUILDING, NOT IN SCOPE
 - EXISTING CONTEMPORARY CEMENTITIOUS SURFACE COATING OVER HISTORIC BRICK AND LIMESTONE MASONRY
 - EXISTING HISTORIC LIMESTONE MASONRY
 - EXISTING NON-HISTORIC GLASS BLOCK TO REMAIN
 - EXISTING NON-HISTORIC WOOD AND GLAZING WALL TO REMAIN
 - EXISTING NON-HISTORIC METAL CANOPY TO REMAIN
 - EXISTING METAL BANDING TO REMAIN

DEMOLITION ELEVATION LEGEND

	EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION
	EXISTING MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES
	EXISTING NON-HISTORIC SURFACE MATERIAL OR CLADDING TO BE DISMANTLED AND REMOVED CAREFULLY

fpc

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GRAYSTREET PARTNERS

STUMBERG BLOCK

DEMOLITION/DISCOVERY PACKAGE

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

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Revisions		
Mark	Date	Description

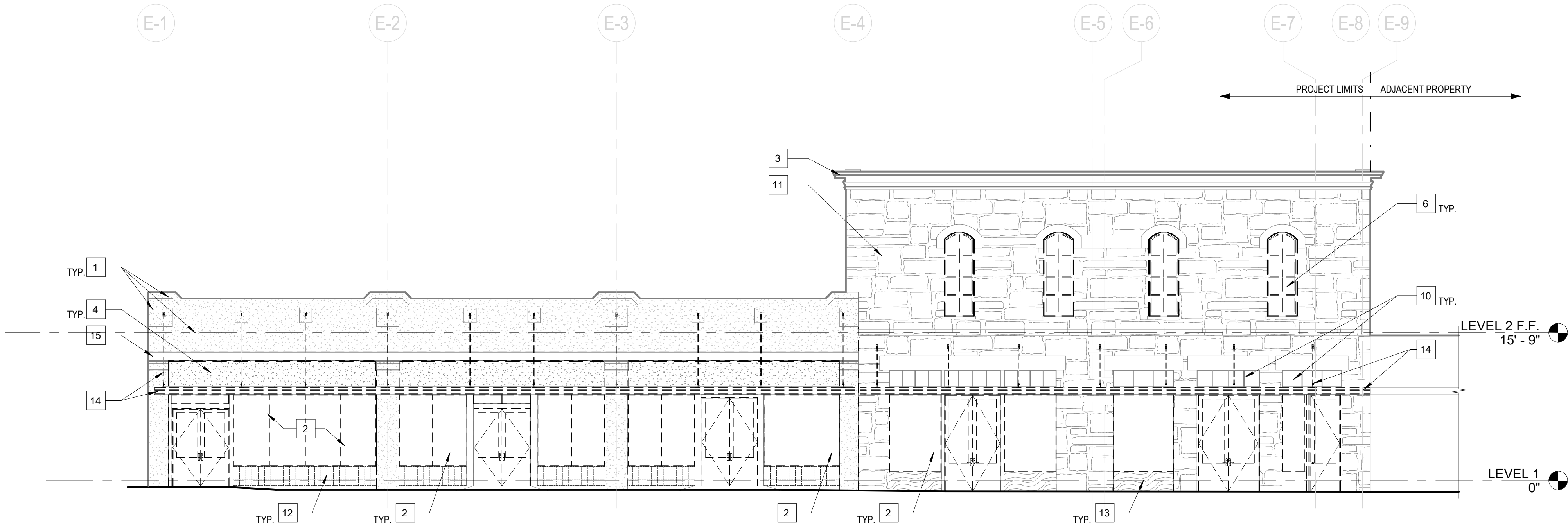
Drawn By:	Approved By:
VR	AC
Project Number:	Project Issue Date:
100702	10/19/2022

DEMOLITION BUILDING ELEVATIONS

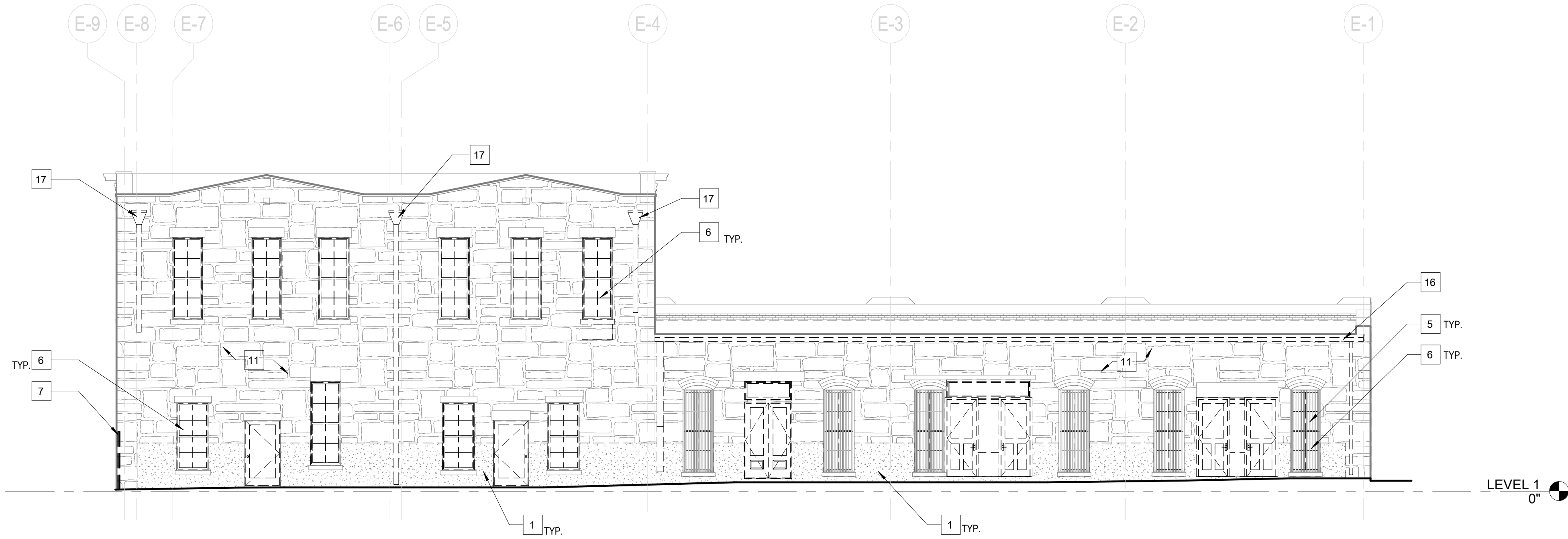
CONSTRUCTION DOCUMENTS

SHEET

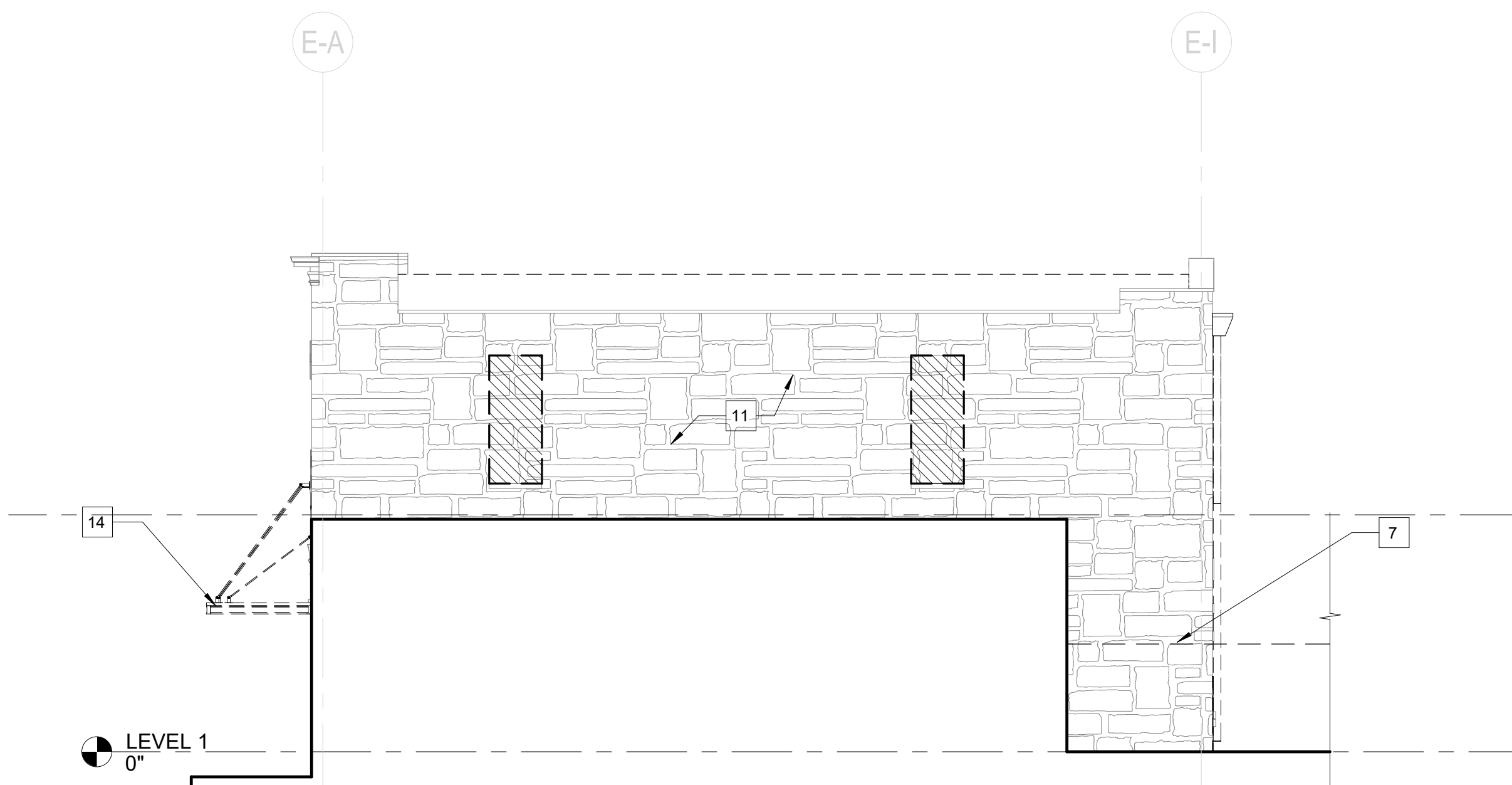
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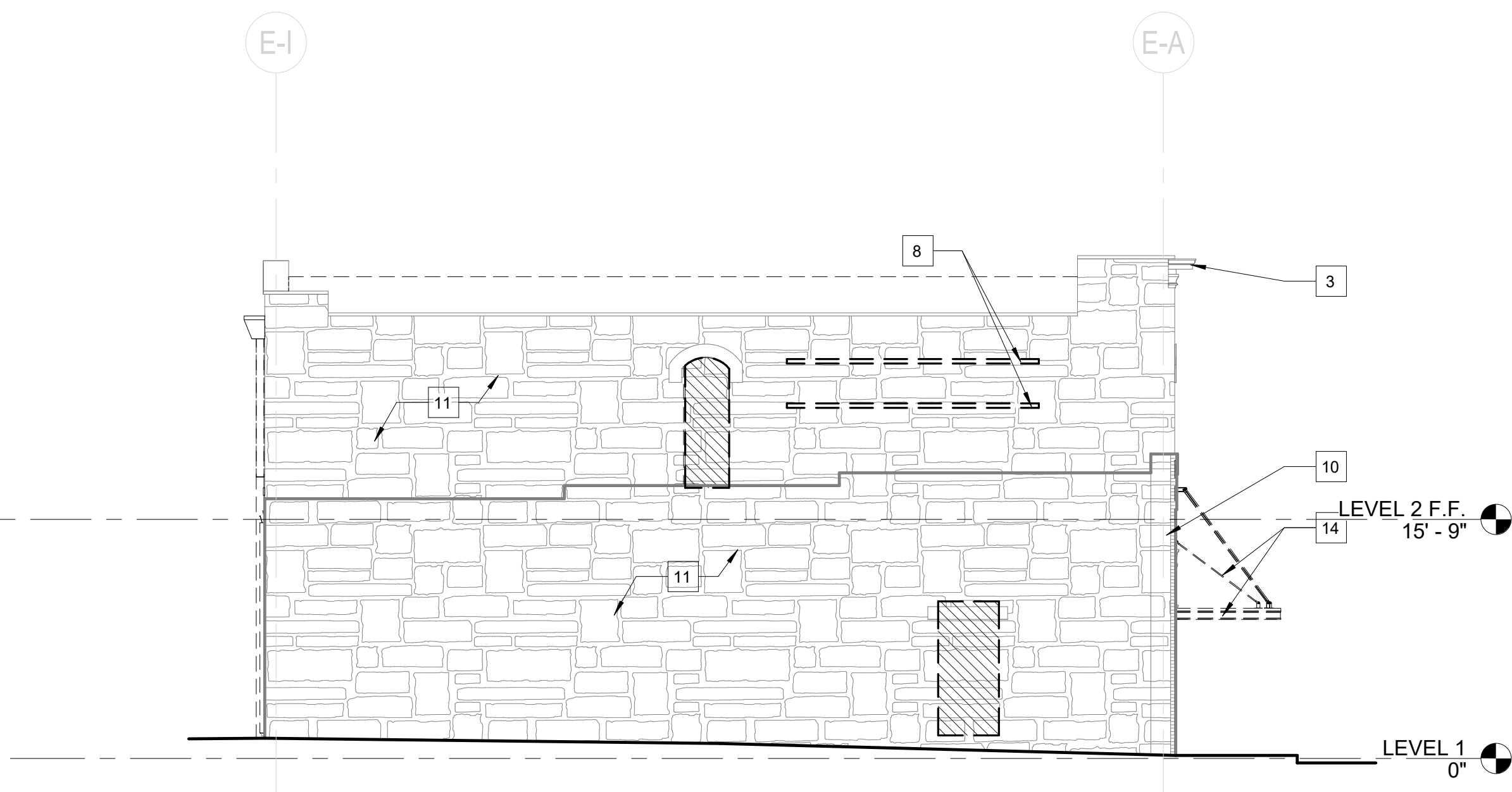
1 DEMO WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 DEMO NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

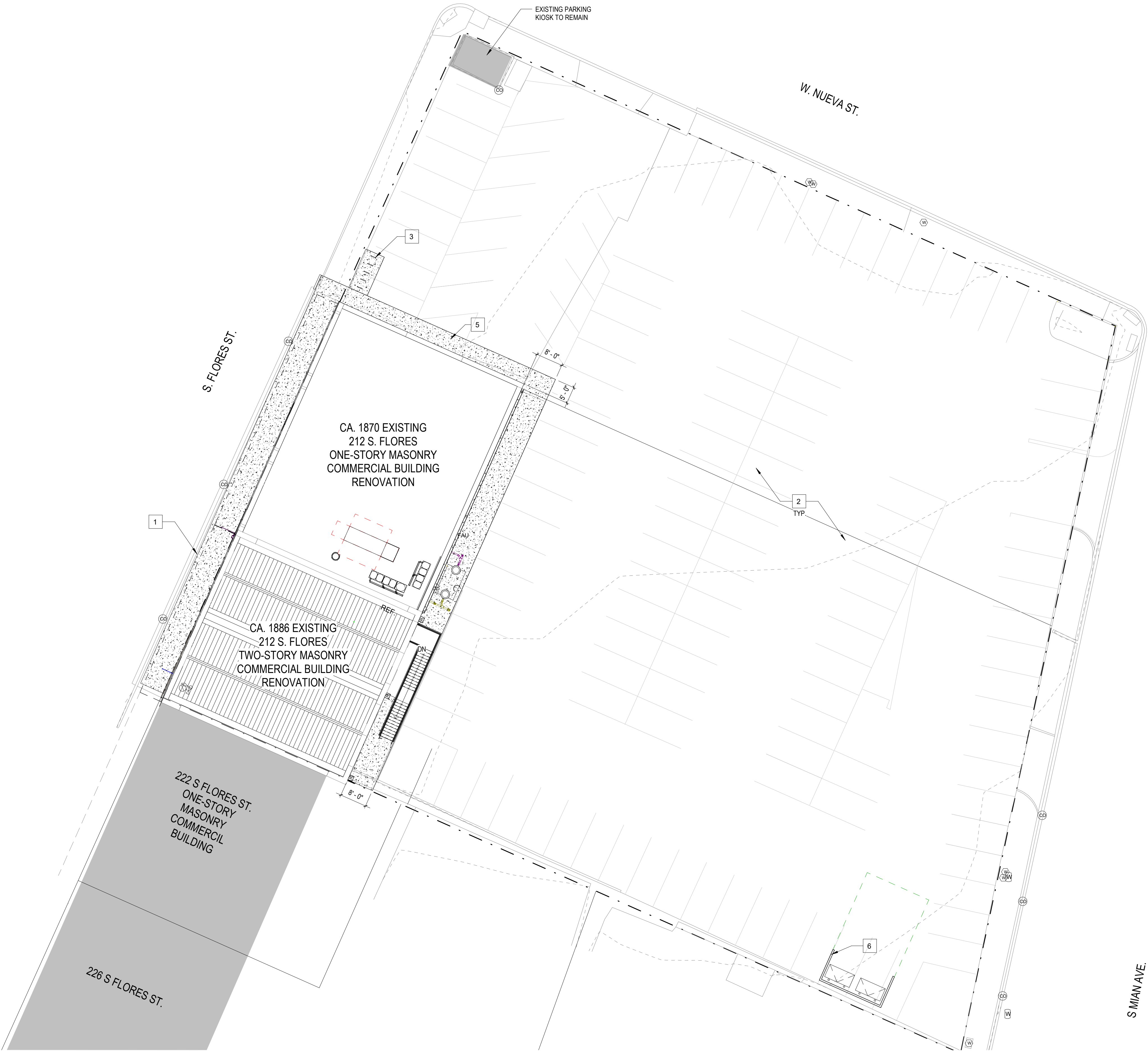
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- H. FOR ALL DEMOREMOVAL WORK, EXERCISE CAUTION TO PREVENT DAMAGE TO EXISTING ADJACENT FINISHES AND MATERIALS THAT ARE DESIGNATED TO REMAIN.
- J. DEMOLITION OPERATIONS MAY REVEAL ARCHITECTURAL, STRUCTURAL OR SUBGRADE CONDITIONS WHICH WERE PREVIOUSLY UNKNOWN. UNFORESEEN HISTORIC MATERIAL, DETAILS OR FEATURES MAY ALSO SURFACE DURING DEMOLITION OPERATIONS. STOP ALL WORK IN THIS AREA, PROTECT THE HISTORIC MATERIAL AND NOTIFY ARCHITECT FOR FURTHER INSTRUCTIONS.
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- P. NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

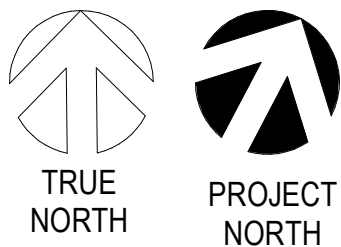
- REMOVE CAREFULLY ALL CONTEMPORARY CEMENTITIOUS SURFACE MATERIAL. ALL WORK PERTAINING TO THIS SCOPE SHALL BE CONDUCTED BY A QUALIFIED MASONRY CONSERVATOR OR RESTORATION CONTRACTOR.
- REMOVE EXISTING NON-HISTORIC GLASS AND WOOD DISPLAY WINDOWS.
- EXISTING METAL CORNICE TO REMAIN AND BE PROTECTED
- REMOVE TRANSOM INFILL PANELS AND ALL ASSOCIATED ELEMENTS, TAKE CARE NOT TO DAMAGE ANY HISTORIC SUBSTRATES, MATERIAL OR ELEMENTS.
- EXISTING STEEL SECURITY BARS TO BE DISMANTLED AND CAREFULLY REMOVED FOR SALVAGING ONLY. SEE DETAILS FOR REINSTALLATION AND COORDINATION WITH ALL NEW WORK.
- REMOVE EXISTING WOOD WINDOW CAREFULLY.
- EXISTING WOOD PRIVACY FENCE TO REMAIN, SHOWN DASHED FOR CLARITY
- REMOVE EXISTING 2X WOOD MEMBERS ON FACE OF WALL.
- EXISTING ADJACENT BUILDING, NOT IN SCOPE
- EXISTING HISTORIC WOOD TRANSOMS TO REMAIN, AND BE PROTECTED DURING DEMOLITION.
- EXISTING HISTORIC LIMESTONE MASONRY TO REMAIN.
- REMOVE EXISTING NON-HISTORIC GLASS BLOCK BULKHEAD
- REMOVE EXISTING NON-HISTORIC WOOD BULKHEAD.
- REMOVE EXISTING NON-HISTORIC METAL CANOPY AND ASSOCIATED ANCHOR TIES RODS, REFER TO STRUCTURAL.
- EXISTING METAL BANDING TO REMAIN TO REMAIN AND BE PROTECTED.
- REMOVED EXISTING METAL GUTTER AND ASSOCIATED DOWNSPOUTS.
- DISMANTLE, REMOVE AND RETAIN HISTORIC METAL CONDUCTOR HEAD AND DOWNSPOUT. STORE FOR RESTORATION AND REINSTALLATION.

DEMOLITION ELEVATION LEGEND

- | | |
|--|---|
| | EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION |
| | EXISTING MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES |
| | EXISTING NON-HISTORIC INFILL MASONRY TO BE DISMANTLED AND REMOVED CAREFULLY |
| | EXISTING NON-HISTORIC CEMENTITIOUS SURFACE MATERIAL TO BE REMOVED CAREFULLY |



1 SITE PLAN
SCALE: 1/16" = 1'-0"



GENERAL NOTES

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- D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF FINISHED WALL UNLESS NOTED ON PLANS.
- E. REFER TO 'D' SHEETS FOR DEMOLITION.
- F. REFER TO SHEET A601 FOR PARTITION TYPES.
- G. REFER TO A600 FOR WINDOW SCHEDULE.
- H. REFER TO A600 FOR DOOR SCHEDULE.
- J. REFER TO A1.02 FOR REFLECTED CEILING PLANS.
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- L. PROTECT ALL EXISTING ADJACENT WALLS/DOORS WHERE NEW WORK IS TO OCCUR. PATCH AND REPAIR ANY DAMAGED AREAS RESULTING FROM DEMOLITION OR NEW WORK. MATCH ADJACENT FINISHES AND COLORS.
- M. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND THE CONTRACTOR SHALL REVIEW AND CORRELATE THE INTENT OF EACH PART IN THE EXECUTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT ON ANY ITEMS OR ISSUES IN QUESTION PRIOR TO PROCEEDING WITH WORK.
- N. ALERT THE ARCHITECT OF ANY DISCREPANCIES OR BUSTS IN THE DIMENSIONS THAT MAY RESULT IN CLEARANCE OR SPACE PLANNING RESTRICTIONS BEFORE PROCEEDING WITH FRAMING THE AREA OF CONCERN.
- P. THESE DRAWINGS SHOW GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS FOR FURTHER INFORMATION APPLICABLE TO THESE PLANS.
- Q. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.
- R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

KEYNOTES

- 1. EXISTING STREET LAMP POST TO REMAIN
- 2. EXISTING PARKING STRIPING TO REMAIN
- 3. "U" SHAPED BICYCLE RACKS, PROVIDING 10 SPOTS, REQUIRED 9.
- 4. NEW METAL CANOPY, SHOWN DASHED FOR CLARITY, REFER TO ROOF PLAN
- 5. NEW CONCRETE WALKWAY, ASSURE MAX. 2% SLOPE
- 6. MASONRY DUMPSTER ENCLOSURE

SITE PLAN LEGEND

- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING BUILDING OR VERTICAL STRUCTURE TO REMAIN AND NOT IN SCOPE
- PROPOSED NEW SITE ELEMENT OR FLAT WORK
- EXISTING PROPERTY LINES
- NEW CONCRETE WALKWAY OR SITE WORK

FORD POWELL CARSON

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GRAYSTREET PARTNERS

GRAY ST PARTNERS

STUMBERG BLOCK

RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX 78204

Architect: Adam Reed

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Revisions		
Mark	Date	Description

Drawn By:	Approved By:
VR	AC
Project Number:	Project Issue Date:
100702	02/06/2023

SITE PLAN

OHP APPROVAL

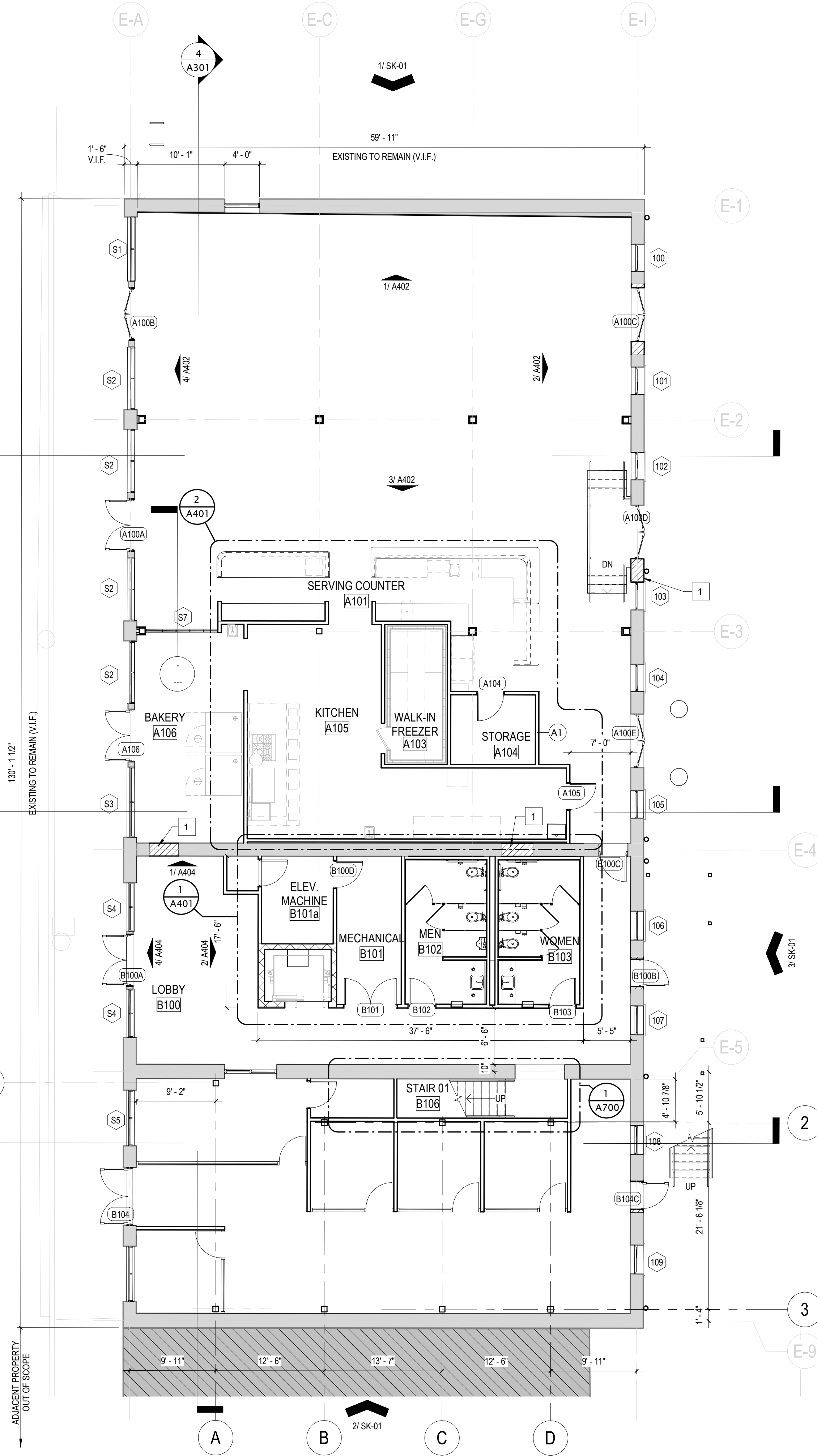
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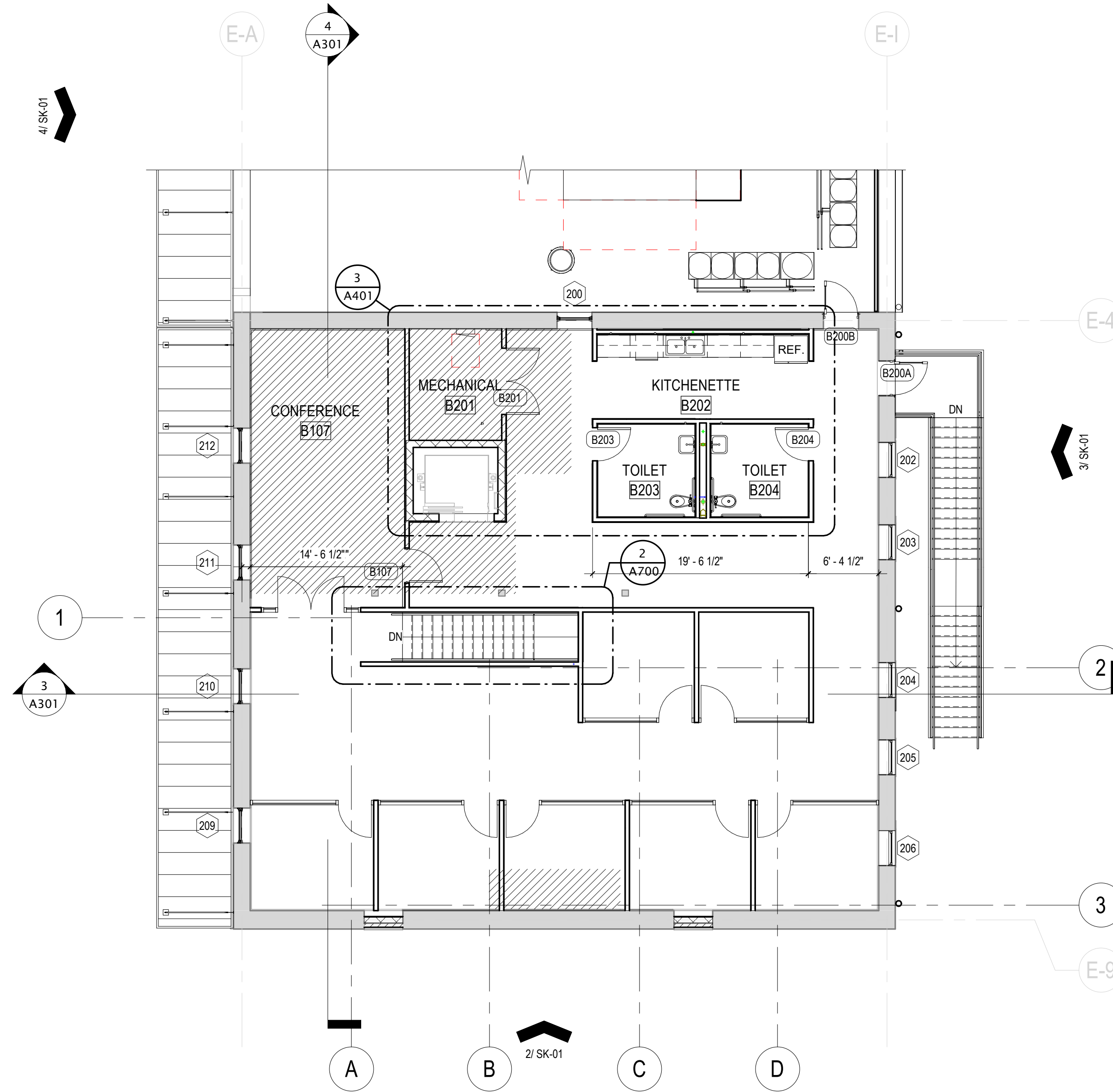
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- H. REFER TO A600 FOR DOOR SCHEDULE.
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- R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

- KEYNOTES
1. INSTALL MASONRY INFILL TO MATCH EXISTING TO REMAIN, IN-KIND.

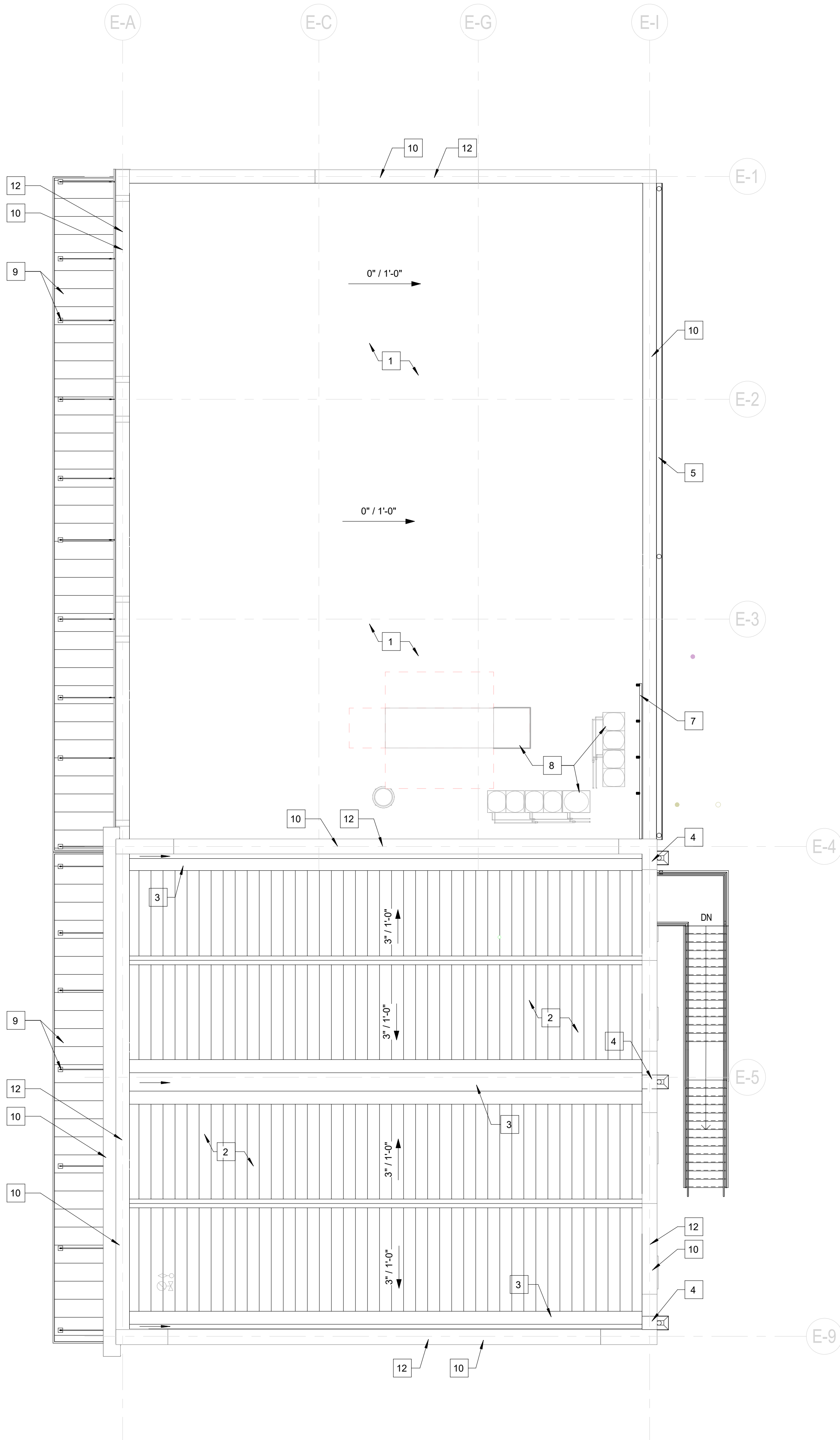
- RESTORATION PLAN LEGEND
- | | |
|--|---|
| | EXISTING MATERIAL OR ELEMENT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION |
| | EXISTING MASONRY WALL OR PARTITION TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION |
| | NEW OR RECONSTRUCTED ELEMENT OR MATERIAL |
| | CONCRETE MASONRY UNIT |
| | MASONRY INFILL TO MATCH EXISTING IN-KIND |
| | NEW FLOOR STRUCTURE INFILL (REF. STRUCTURAL) |
| | AREAS NOT IN SCOPE |



1 LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

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 - R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

- KEYNOTES
- 1. MODIFIED BITUMEN ROOFING OVER COVER BOARD, OVER R-30 POLYISO RIGID INSULATION AND 3/4" PLYWOOD DECKING. REFER TO STRUCTURAL FOR MORE INFORMATION.
 - 2. 22 GAUGE GALVALUME STANDING SEAM METAL ROOF, OVER HIGH TEMP MEMBRANE UNDERLAYMENT AND SLIP SHEET AS REQUIRED. OVER COVER BOARD AND RESTORED TONGUE AND GROOVE WOOD DECKING.
 - 3. BUILT-IN GUTTER. INSTALL MODIFIED BITUMEN ROOFING MEMBRANE OVER HIGH TEMP MEMBRANE AND COVERBOARD.
 - 4. STAINLESS STEEL THRU WALL SCUPPER SYSTEM, INTEGRATED INTO RESTORED CONDUCTOR HEAD
 - 5. PREFINISHED SEAMLESS BOX GUTTER, COLOR TO BE DETERMINED.
 - 6. NOT USED.
 - 7. PRE-FINISHED PERFORATED MECHANICAL SCREEN
 - 8. PROPOSED MECHANICAL EQUIPMENT. REFER TO MEP DRAWINGS.
 - 9. NEW STEEL CANOPY AND TIE RODS. REFER TO DETAILS AND STRUCTURAL.
 - 10. REPAIR AND REPLACE EXISTING HISTORIC LIMESTONE COPING AS NEEDED, ALONG ENTIRE PERIMETER OF BUILDING. ALL STONE REPLACEMENTS MUST MATCH EXISTING LIMESTONE IN COLOR, SIZE AND STYLE.
 - 11. EXISTING HISTORIC METAL CORNICE. CLEAN, PREP AND REFINISH. REFER TO FINISH SCHEDULE FOR COLOR. REFASTEN ANY LOOSE SECTIONS. ONLY STAINLESS STEEL FASTENERS AND CLIPS.
 - 12. INSTALL PMMA FLASHING. TYPICAL AT ALL LIMESTONE COPING. CONTINUE FLASHING OVER ROOFING MEMBRANE MINIMUM 4 INCHES. REFER TO DETAILS

fpc

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STUMBERG BLOCK
RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

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Revisions		
Mark	Date	Description

Drawn By:
Author

Approved By:
Approver

Project Number:
100702

Project Issue Date:
02/06/2023

ROOF PLAN AND DETAILS

CONSTRUCTION DOCUMENTS

SHEET

A103

TRUE NORTH

PROJECT NORTH

GENERAL NOTES

- A. REFER TO SHEET G0.01 FOR SYMBOLS LEGEND AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING, REFER TO INDIVIDUAL SHEETS FOR SPECIFIC NOTES.
- D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF THE PLASTER FINISH, OR FACE OF STUD, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
- E. REFER TO 'D' SHEETS FOR DEMOLITION.
- F. REFER TO 'A600' FOR DOOR SCHEDULE.
- G. REFER TO 'A600' FOR WINDOW SCHEDULE.
- H. REFER TO 'A102' FOR REFLECTED CEILING PLANS.
- J. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.

GENERAL RESTORATION NOTES

- A. AT EACH FACADE ALL MASONRY IS TO BE CLEANED. CLEAN ALL DEBRIS AND BIOLOGICAL GROWTH FROM THE FACE OF THE BUILDING.
- B. INSPECT MASONRY FOR BUG HOLES AND HOLES LEFT DURING DEMOLITION OPERATIONS. CLEAN OUT AND PATCH. FILL WITH APPROPRIATE PATCHING COMPOUND AND SMOOTH OFF TO MATCH SURFACE OF STONE OR BRICK BEING RESTORED. NO PATCHING MATERIAL SHALL SPREAD BEYOND THE EDGE OF THE HOLE BEING PATCHED.
- C. INSPECT STONE WINDOW SILLS, HEADER, WINDOW AND DOOR SURROUNDS AND ALL DECORATIVE STONE FEATURES. CLEAN OUT ANY CRACKS, PATCH WITH PATCHING COMPOUND.
- D. CLEAN OUT AND REPOINT ALL DETERIORATED MORTAR JOINTS. ALL CUTTING TO BE DONE BY HAND TOOL METHODS ONLY.
- E. REMOVE ALL METAL ANCHORAGE DEVICES AND UNNECESSARY METAL DEVICES ON THE BUILDING MASONRY EXTERIOR. INSTALL NEW STAINLESS STEEL ANCHORAGE DEVICES TO RE-ATTACH NECESSARY ATTACHMENTS AT THE EXTERIOR LOCATIONS, ETC. ISOLATE DISSIMILAR METALS (GALVANIC ACTION).
- F. ALL SHEET METAL ASSEMBLIES INDICATED TO BE RETAINED, SHALL BE CLEANED OF ALL RUST STAINING.

KEYNOTES

1. SEVERLY DAMAGED MORTAR JOINTS, RE-POINT ALL JOINTS IN THIS AREA. MORTAR IS TO MATCH EXISTING ORIGINAL.
2. SEVERLY DAMAGED/DELAMINATED LIMESTONE. PROVIDE REPLACEMENT OR DUTCHMAN REPAIR.
3. EXISTING HISTORIC METAL CORNICE. CLEAN, PREP AND REFINISH. REFER TO FINISH SCHEDULE.
4. RESTORE EXISTING TRANSOM WOOD WINDOWS.
5. REINSTALL HISTORIC SECURITY BARS. INSTALL WITH STAINLESS STEEL ANCHORS ONLY. SEE DETAILS FOR REINSTALLATION AND COORDINATION WITH ALL NEW WORK.
6. NEW PAINTED WOOD BULKHEAD, REFER TO DETAILS.
7. EXISTING MASONRY PARAPET, RE-POINT FULL EXTENT.
8. INSTALL NEW STONE WALL INFILL. FACE STONE IS TO BE CUT AND HONED FINISHED. MATCH EXISTING IN COLOR AND TYPE ONLY. SET BACK 2" FROM FACE OF STONE. REFER TO DETAILS AND STRUCTURAL.
9. REMOVE SURFACE COATINGS AND PAINTS AT THIS AREA OF MASONRY. ALL REMOVAL SHALL BE NON-ABRASIVE AND FOLLOW THE GUIDANCE OF NATIONAL PARK SERVICE PRESERVATION BRIEF NO. 1 "ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS"
10. REPLACE EXISTING BRICK MASONRY WITH COMPATIBLE LIMESTONE MASONRY AND MORTAR TO MATCH EXISTING.
11. RESTORE EXISTING METAL CONDUCTOR HEAD, PREP-PRIME AND PAINT. PROVIDE ALL NEW STAINLESS STEEL THRU-WALL SCUPPER AND FLASHING. FASTEN RESTORED CONDUCTOR HEAD ONLY WITH STAINLESS STEEL FASTENERS. COORDINATE WITH ARCHITECT ON FINAL COLOR.
12. INSTALL ALL NEW 5 INCH ROUND, GALVANIZED METAL DOWNSPOUT, PREP, PRIME AND PAINT, TO MATCH ORIGINAL CONDUCTOR HEAD.
13. INSTALL COPPER VENT SCREENS TO FIT EXISTING MASONRY OPENINGS.
14. REPLACE LIMESTONE WINDOW SILL, WITH IN-KIND MATERIAL. NEW STONE SILL IS TO MATCH EXISTIN IN PROFILE AND TEXTURE.
15. ASSUME FULL REPOINTING SCOPE AT ALL AREAS OF STUCCO REMOVAL.
16. INSTALL NEW STEEL LINTEL WITH LIMESTONE HEADER VENEER. REFER TO STRUCTURAL AND DETAILS.
17. INSTALL NEW LIMESTONE WALL INFILL TO MATCH EXISTING IN TYPE, COLOR, TEXTURE AND CONSTRUCTION.
18. PROPOSED MECHANICAL EQUIPMENT, REFER TO MEP DRAWINGS AND SPECS.
19. PERFORATED COATED MECHANICAL EQUIPMENT SCREEN.
20. RE-POINT ALL ARCHED BRICK HEADERS, THIS ELEVATION, TYPICAL.
21. GALVANIZED METAL STAIR AND RAILING, PREP, PRIME AND COAT. REFER TO FINISH SCHEDULE FOR COLOR.
22. PATCH, REPAIR OR REPLACE EXISTING LIMESTONE COPING AS NEEDED. ASSUME FULL 100% REPOINT.
23. ASSUMED TIMBER HEADER, STRUCTURAL TO PROVIDE STEEL REINFORCEMENTS AS NEEDED. TIMBER HEADER TO REMAIN AND BE REPAIRED AS NEEDED.
24. REPLACE DAMAGED LIMESTONE COPING STONE TO MATCH EXISTING.
25. INSTALL SALVAGED LIMESTONE AT MODIFIED OPENING. COORDINATE WITH STRUCTURAL.

ELEVATION LEGEND

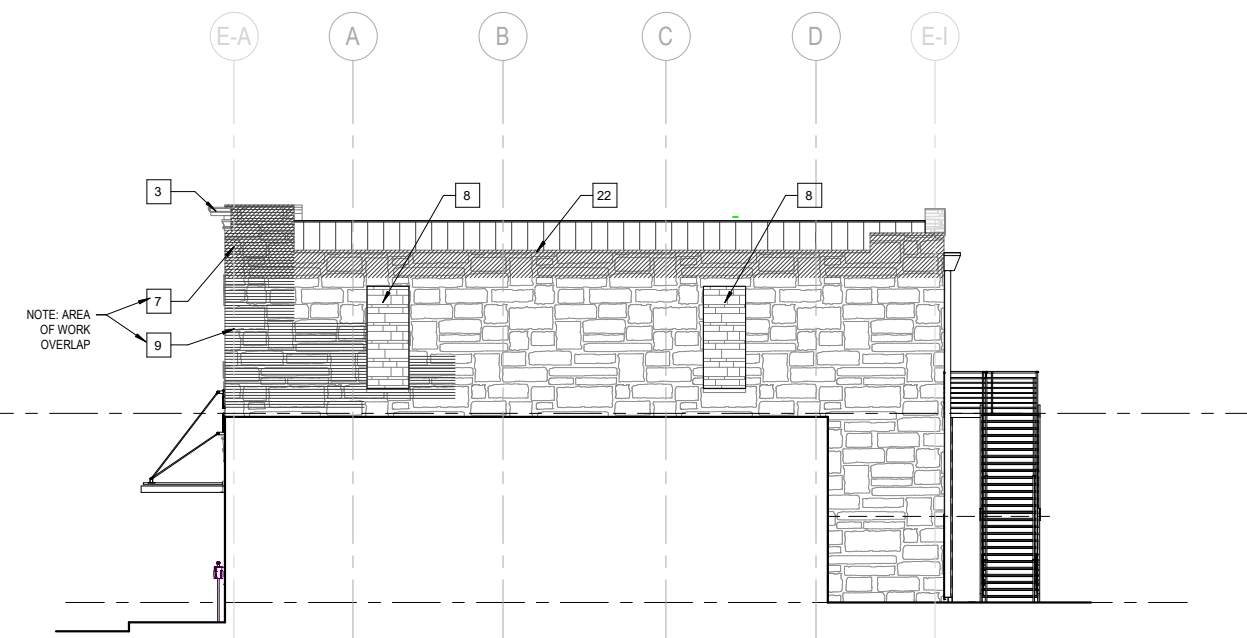
- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION
- NEW OR RESTORED MATERIAL OR ELEMENT
- REPAIR DAMAGED STONE
- AREA OF EXISTING MASONRY TO BE RE-POINTED
- AREA PAINT REMOVAL ON MASONRY
- AREA OF RESTORED FACE BRICK MASONRY
- AREA OF MASONRY INFILL TO MATCH ORIGINAL IN-KIND



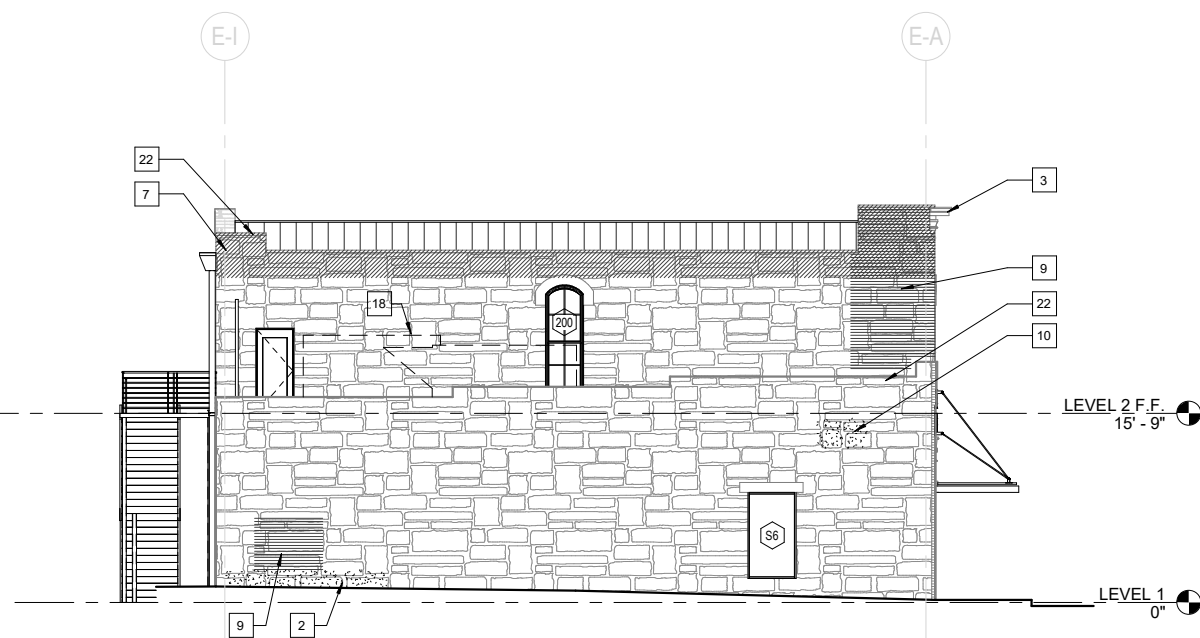
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GRAYSTREET PARTNERS
STUMBERG BLOCK
RESTAURANT AND FINISH OUT

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Architect: Adam Reed

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100702	02/06/2023

COLORED ELEVATIONS

OHP APPROVAL

SHEET

SK-01

1 NORTH ELEVATION - PRESENTATION

SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION - PRESENTATION

SCALE: 1/8" = 1'-0"

3 EAST ELEVATION - PRESENTATION

SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - PRESENTATION

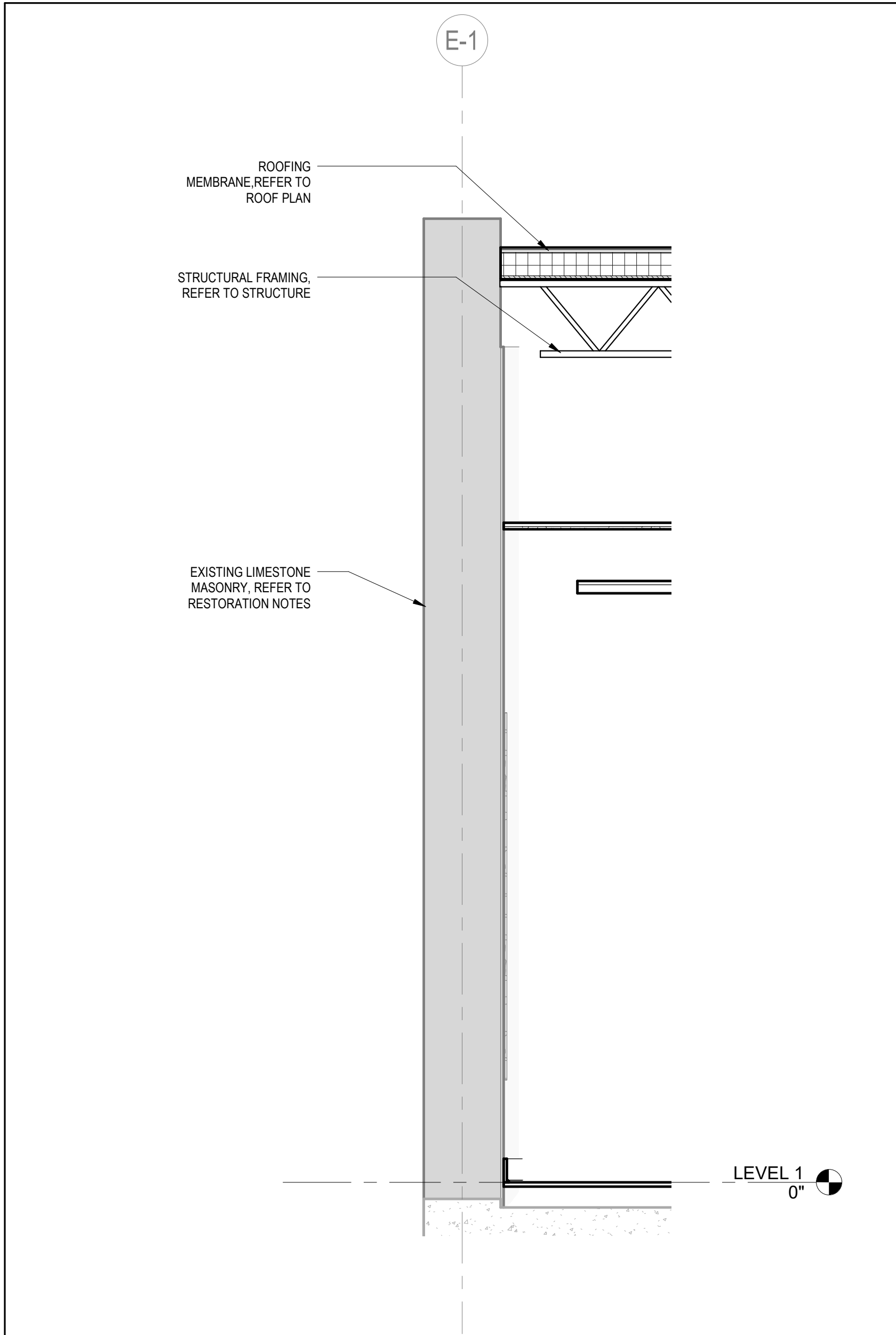
SCALE: 1/8" = 1'-0"

Pella® Reserve™
Traditional Wood & Clad/Wood

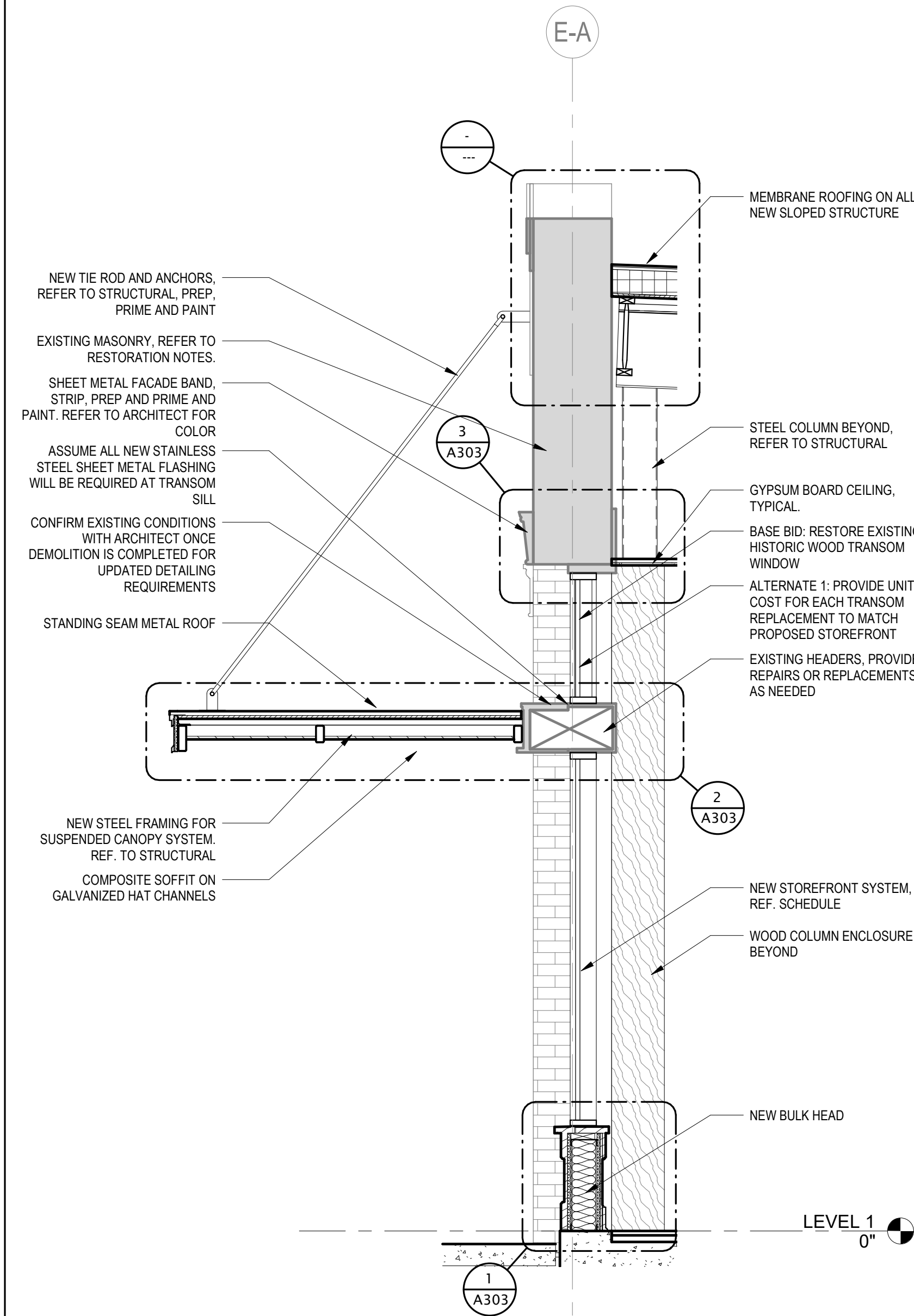
Exquisitely designed windows and doors with unparalleled historical detailing.



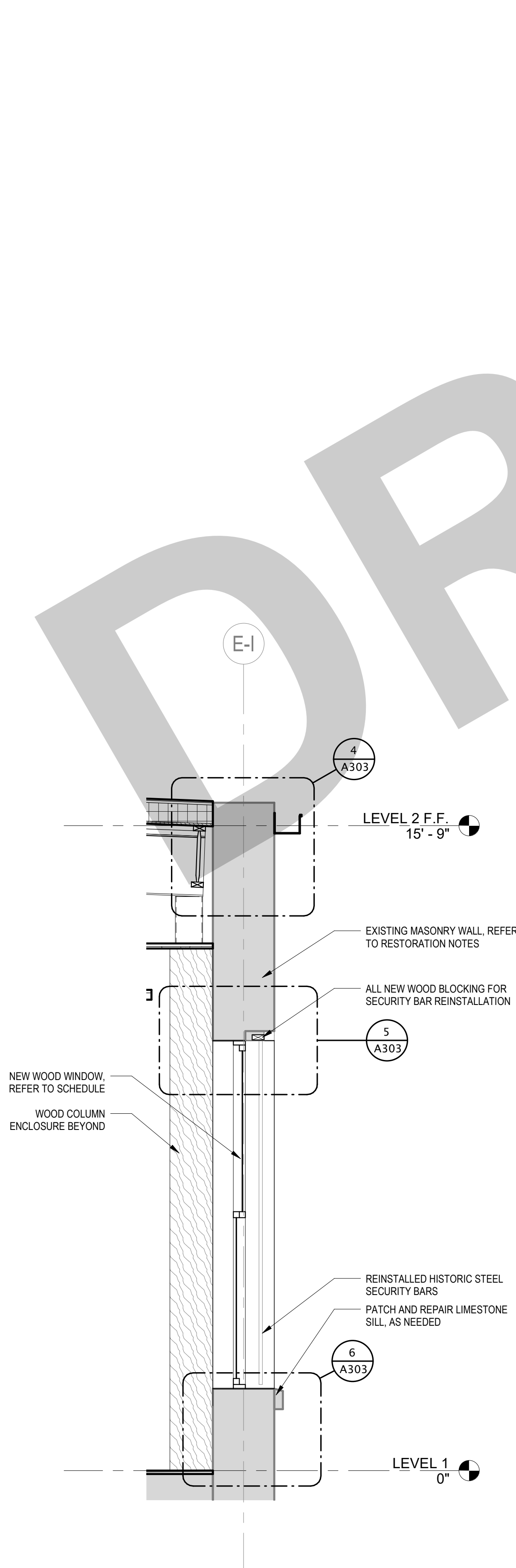
- Historical details**
Our most historically authentic line of wood windows and patio doors. Featuring through-style construction, deliberate proportions and intricate profiles. Pella Reserve - Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**
Featuring the industry's only foam spacer solution, Pella's Integral Light Technology™ grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles - providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision.



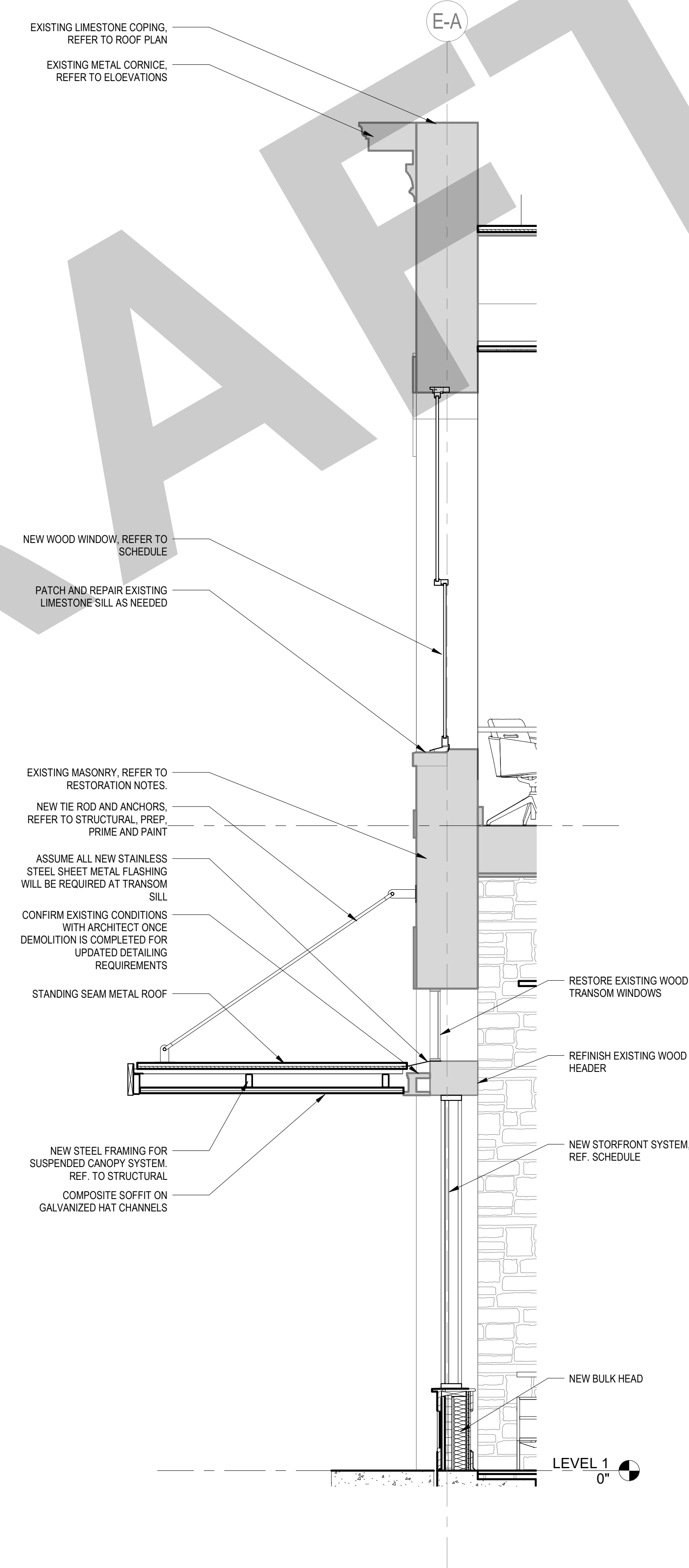
4 WALL SECTION
SCALE: 1/2" = 1'-0"



1 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

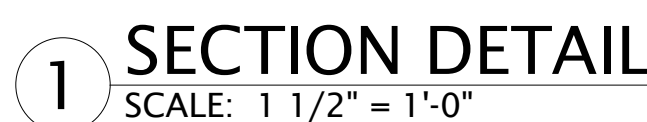


2 WALL SECTION
SCALE: 1/2" = 1'-0"

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- C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING. REFER TO INDIVIDUAL SHEET FOR SPECIFIC NOTES.
- D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF FINISHED WALL UNLESS NOTED ON PLANS.
- E. REFER TO 'D' SHEETS FOR DEMOLITION.
- F. REFER TO SHEET A601 FOR PARTITION TYPES.
- G. REFER TO A600 FOR WINDOW SCHEDULE.
- H. REFER TO A600 FOR DOOR SCHEDULE.
- J. REFER TO A1.02 FOR REFLECTED CEILING PLANS.
- K. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.
- L. PROTECT ALL EXISTING ADJACENT WALLS/DOORS WHERE NEW WORK IS TO OCCUR. PATCH AND REPAIR ANY DAMAGED AREAS RESULTING FROM DEMOLITION OR NEW WORK. MATCH ADJACENT FINISHES AND COLORS.
- M. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND THE CONTRACTOR SHALL REVIEW AND CORRELATE THE INTENT OF EACH PART IN THE EXECUTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT ON ANY ITEMS OR ISSUES IN QUESTION PRIOR TO PROCEEDING WITH WORK.
- N. ALERT THE ARCHITECT OF ANY DISCREPANCIES OR BUSTS IN THE DIMENSIONS THAT MAY RESULT IN CLEARANCE OR SPACE PLANNING RESTRICTIONS BEFORE PROCEEDING WITH FRAMING THE AREA OF CONCERN.
- P. THESE DRAWINGS SHOW GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS FOR FURTHER INFORMATION APPLICABLE TO THESE PLANS.
- Q. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.
- R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

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Q.	LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.
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GEORGE STUMPF



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ALL TIMES
WILL BE TOWED
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AT OWNERS EXPENSE
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